



City of Rochester

400 Sixth Street
Rochester, MI 48307
P: (248) 733-3700
F: (248) 733-3170
www.rochestermi.org

PLANNING COMMISSION REGULAR MEETING AGENDA

Chair Richard Kendziuk
Vice Chair & Council Member Christian Hauser
Mayor Debbie Jones
Members: Daniel Bachmann, David Berletich, Jenna Campbell,
David Hardin, Laura Murphy & Matthew Stone

See Attached Document for Virtual Meeting Instructions

400 Sixth Street	May 4, 2026	7:00 PM
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1. Call to Order and Roll Call
2. Pledge of Allegiance
3. Public Comment
4. Approval of the Minutes
 - A. Consideration of the Minutes of the Regular Meeting of April 6, 2026
5. Public Hearings
6. Considerations:
 - A. Consideration of 326 Albertson St: Site Plan and Special Project Review Request to Set a Public Hearing.
 - B. Consideration of 824 Miller Rd: Site Plan Review for Existing Natural Gas Regulator Station.
7. Miscellaneous
 - A. Discussion on Subcommittee Updates
8. Public Comment
9. Adjourn

NOTE: Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248-733-3700 forty-eight (48) hours prior to the meeting. Staff will be pleased to make the necessary arrangements to provide necessary reasonable accommodations, including auxiliary aids and services, such as signers for the hearing impaired and audiotapes of printed materials being considered at the meeting.



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Procedure for Hybrid Public Meeting

The City has returned to in-person public meetings as of September 7, 2023, with limited online capabilities. The public bodies (our boards and commissions) are meeting in-person; however, some staff, consultants, and guests will still be able to participate remotely. While in-person audience seating is now available, with limited COVID-19 procedures in place, staff asks that anyone who feels sick not attend in-person.

If you choose to participate virtual, please follow the links and information below:

- Live stream audio and video content on two (2) separate streaming platforms available at the City's [YouTube](#) and at the City's website at www.rochestermi.org/201/City-Webcasts. (Click the "Live" links to go there.)
- The City remains committed to accessibility; however, due to the limitations of technology, City staff encourages residents to send an email with your comments to rsvp@rochestermi.org prior to the meeting, but not later than Noon on the day of the meeting, so that your comments can be read into the record. This will decrease the demand on our virtual meeting infrastructure. (After Noon on the day of the meeting, email comments to: bdannunzio@rochestermi.org)
- For those who prefer to use a telephone to participate, you will need to call (312) 626-6799 and enter meeting **ID: 897 0977 9905** When prompted, enter a participant number or just touch the # key. During the call, use *9 to raise hand and you will be "called on" by the last 3-digits of your phone number. (For example, my last digits are 8029. Callers will be asked to speak by referencing the last 4-digits of their phone number.) Note: Phone participants will have their numbers masked, for privacy.
- To provide additional opportunity to participate, members of the public are welcome to join the meeting by copying and pasting the following link in their browser: <https://us02web.zoom.us/j/89709779905> (Downloading Zoom is required.)
- We appreciate your understanding as staff will do our best to assist everyone; but, **please be advised for virtual meetings there is a three (3) minute limit for public comments.**

1. CALL TO ORDER AND ROLL CALL

A meeting of the City of Rochester Planning Commission (PC) was called to order on April 6, 2026, at 7:00 p.m. by Chairman Kendziuk.

PRESENT: Richard Kendziuk, Chairman
Christian Hauser, Vice Chairman
David Berletich, Commissioner
David Hardin, Commissioner
Laura Murphy, Commissioner
Matt Stone, Commissioner

ABSENT: Debbie Jones, Mayor
Dan Bachmann, Commissioner

quorum was present.

Also Present: Nik Banda, City Manager
Jeff Kragt, City Attorney (Zoom)
John Jackson, McKenna & Associates
Lori Morgan, McKenna Planner
Jeremy Peckens, Planning and Zoning Administrator
Rose McKinney, Building and Planning Clerk (Zoom)

2. PLEDGE OF ALLEGIANCE

Chairman Kendziuk led the reciting of the Pledge of Allegiance.

3. PUBLIC COMMENT NON-AGENDA ITEMS

Chairman Kenziuk stated that Item 6B would be removed as it is a residential issue not commercial.

There was no public online or in person that wished to be heard.

4. APPROVAL OF MINUTES

A. Consideration of the Minutes of the Planning Commission Meeting of March 2, 2026.

MOTION by Hauser supported by Stone to approve the minutes of March 2, 2026.

Ayes: Kendziuk, Hauser, Berletich, Hardin, Murphy, Stone

Nays:

Absent: Jones, Bachmann

MOTION Carried.

5. PUBLIC HEARINGS

A. Notice of Public Hearing: 239-265 South Street: Site Plan Review for Facade Material Modification

City Manager, Nik Banda introduced Lori Morgan, the cities new Planner from McKenna and John Jackson, also from McKenna, Lori gave an overview of her professional background.

Lori from McKenna gave an overview of the project. The applicant received site plan approval from the Planning Commission on August 4, 2024, to construct two (2) speculative multi-tenant industrial buildings with a combined area of 19,293.75 sq. ft. The subject site comprises two (2) parcels of land, one of which was occupied by a nonconforming single family residential structure. The parcels with a combined area of 1.47 acres are located on the north side of South Street in the I-2 (Industrial-2) District. At this time the applicant is proposing a change to the exterior building materials which require an amendment to the approved site plan. The applicant appeared before the Planning Commission for a preliminary hearing on 3/2/2026 and was scheduled for a public hearing and consideration of site plan.

The site plan approved by the Planning Commission included building architecture which proposed buildings to be constructed predominantly of ribbed panel metal siding, with a small foundation band of burnished concrete block. At the time we had noted that the area is envisioned in the City's Master plan as an area of future growth for research and technology-based uses and had recommended revisions to the building architecture to incorporate additional masonry to create columns or other features that will break up the facades of the building. The elevations, however, were approved as presented by the applicant.

The proposed change to building material aligns more closely with the City's long-term vision for this area being developed with a high-tech campus environment with businesses that present attractive façades and are not merely utilitarian. Therefore, we recommend that the Planning Commission grant amended site plan approval for the proposed change.

The public hearing was opened at 7:08 p.m.

There was no public online that wished to be heard.

Tom Kemp, applicant, was present and stated that they thought it would be better long term to pre-colored split block as was recommended by McKenna. The light pole was an oversight on the plan however it will be placed and installed.

The public hearing was closed at 7:10 p.m.

MOTION by Murphy supported by Hauser to approve the site plan façade modification with the light pole.

Ayes: Kendziuk, Hauser, Berletich, Hardin, Murphy, Stone

Nays:

Absent: Jones, Bachmann

MOTION Carried.

B. Notice of Public Hearing: 235 S. Main: Site Plan Review, Facade Change & Payment in Lieu of Parking

Lori from McKenna gave an overview of the project. The applicant appeared before the Planning Commission for a preliminary hearing on February 2, 2026, and was scheduled for a public hearing pending revisions to the plans and submission of additional information regarding parking. The first floor of the building is predominantly for retail sales while the second floor is intended for office operations/inventory storage etc. At the preliminary hearing.

Based upon the use of the areas, the parking requirement for the site is 86 spaces. Per the City, the site is grandfathered in for a total of 31 spaces based upon the prior use of the site. The plan shows 6 parking spaces on the rear (west) side of the building, resulting in a parking shortfall of 49 spaces. The applicant is seeking payment in lieu of parking for the shortfall.

The city conducted its own study for a one-week period in February, determining available parking spaces at 11 am and 4 pm within public lots and the deck on the west side of Main Street. It is significant to note that when the public lots are in peak demand in the evenings (after 5 pm). The subject site will be closed for business for the most part, especially in the weekends.

The existing building is constructed of red brick, fieldstone, white siding and what appears to be black tile accents on the north façade. The applicant proposes to 'limewash' some of the red brick to a limestone color, replace other brick and tile areas with smooth cast stone veneer and create a focal entrance at the northeast corner of the building. The elevations also note the use of black metal siding extensively on the rear façade.

We recommend that the Planning Commission grant site plan approval for Lucido Fine Jewelry to be located at 235 S. Main Street, subject to the condition that loading activity for the site shall not unduly impede traffic on the alley. The recommendation is also subject to the Planning Commission granting special exception approval for payment in lieu of 49 parking spaces, and City Attorney input on addressing any future change of use on site.

The public hearing was opened at 7:26 p.m.

Roger Knapp of 304 S. Main was present and expressed concern over parking.

The public hearing was closed at 7:33 p.m.

Joe Lucido, Owner, was present along with Ryan, Architect. Joe expressed the excitement they have with this project. The project is an amazing opportunity for Lucido's. The parking was discussed with the Commission. Joe stated on average they have about 30 customers per day and that is throughout the day.

Brief discussion on parking statistics, hours of operation and customer traffic. The parking decks are under-utilized. Joe stated they would likely pay for parking in lieu of in full. The foot traffic into the store is usually a couple which would be one vehicle. The hours of operation will not change in the new building.

MOTION by Berletich supported by Stone to approve Special Exception for forty-nine parking spaces.

Ayes: Kendziuk, Hauser, Berletich, Hardin, Murphy, Stone

Nays:

Absent: Jones, Bachmann

MOTION Carried.

MOTION by Hauser supported by Stone to approve Site Plan as submitted.

Ayes: Kendziuk, Hauser, Berletich, Hardin, Murphy, Stone

Nays:

Absent: Jones, Bachmann

MOTION Carried.

6. CONSIDERATIONS

- A. Consideration of 134 S. Main St: Site Plan Review for Facade Modification. Request to Set a Public Hearing.

Lori from McKenna gave an overview of the project. The applicant received site plan approval from the Planning Commission on January 5, 2026, to renovate an existing 3,220 sq. ft building located at the entrance to downtown in the Central Business District, CBD. The applicant proposes to use the building as a professional office intended for use by the owner and their family members.

The existing building is constructed of CMU blocks and is in a state of disrepair. The site plan approved by the Planning Commission proposed retaining the block and adding a façade of cast limestone and brick to the west (front) and north facades. The rear façade is to be provided with a new frosted glass garage door and new windows. Subsequently, during demolition, the applicant uncovered an existing structural condition on the building wall, which per the applicant, necessitated a change in the facade design to make it feasible and preserve the existing structural supports. The change is located in the front portion of the building closest to Main Street. The approved plans indicated a façade constructed of limestone and brick with a flat roof and a suspended black metal awning. The revised plan proposes replacing the awning with a 'zinc colored roof panel.

We recommend the Planning Commission schedule the project for consideration of amended site plan approval on the next available agenda.

Roger Berent Architect was present and explained there was miscommunication and also discussed some of the challenges they encountered in the project along the way with the block and the awning. The client asked if he could move forward with the project and the Roger assumed they knew how to proceed with everything but the awning.

Brief discussion ensued to the engineering on the block and the challenges of the supports for the building. The south wall needs support the current support runs north and south and is concrete.

MOTION by Hauser supported by Berletich to approve for a Public Hearing

Ayes: Hauser, Berletich, Hardin, Murphy,
Nays: Kendziuk, Stone
Absent: Jones, Bachmann

MOTION Failed.

- B. Consideration of 426 W. University: Site Plan Review for Facade Modification. Request to Set a Public Hearing.

Chairman Kenziuk stated that Item 6B would be removed as it is a residential issue not commercial.

- C. Consideration of 824 Miller Rd: Site Plan Review for Existing Natural Gas Regulator Station. Request to Set a Public Hearing.

Lori from McKenna gave an overview of the project. At the City's request we have reviewed a proposal from Consumer's Energy to reconstruct an existing natural gas regulator station. The subject site is located on east side of Miller Street and is zoned R-1 One-Family Residential District. The site is currently occupied by an existing building, piping, gravel driveway, and gas equipment. The applicant proposes to remove all existing improvements and construct a new 280 sq. ft (14' x 20') steel building, a new gravel driveway with parking, installation of an 8' tall concrete panel wall on 3 sides and an aluminum fence on the street side.

Article 3, Section 300 (5) of the Zoning ordinance states: Essential services shall be permitted as authorized and regulated by law and other ordinances of the municipality, it being the intention hereof to exempt such essential services [from] the application of this ordinance. A review of the definition for essential services in Section 3902 specifies that the exemption is not applicable to any utility that involves the construction or erection of buildings or any structures over 4 feet in height. Therefore, the proposed regulator station is not considered an essential service and is not exempt from the ordinance provisions. Section 2108. Public utilities and facilities note that any public utility which is not an 'essential service' can be allowed in any zoning district as a special exception.

The plan notes that the area inside the fence will be provided with crushed limestone surface. Clarify why the surface is represented in two different tones – dark and light. The proposed parking area is 12' deep x 32' wide. Clarify what type of vehicle it is intended for. Clarify the purpose of the gate on the southeast side of the wall along the south property line.

The distance between the wall and the property line is only 2'. Per Section 2125 (2)(a), the maximum permitted height of a fence on a residentially zoned parcel is 6 feet. The proposed 8-foot-tall fence and wall will require approval from the Zoning Board of Appeals. The fixtures must be downward directed and shielded especially since the side abuts single family residential uses on either side, and the mounting height of 9 feet would mean the fixture will be visible above the walls. The landscape plan does not include any irrigation. Since the site is unmanned, clarify how the landscaping will be irrigated and maintained. We recommend that the Planning Commission schedule the project for consideration on the next available agenda.

Amy Gilpin from Consumers Energy was present along with Anthony project manager and a representative from the consulting firm. The project was discussed. The old building will be demolished, and a new building will be constructed along with decorative fencing. Along with updates to the driveway. The light will be shielded. The fence is a screen and for security there is an 8-foot fence. Gates are placed in case employees need to access and are offset so that the gates stay on consumers' property. New equipment will be installed.

City Manager Nik Banda stated that a video with the next presentation of noise would be very beneficial.

Brief discussion ensued in the aesthetics of the current property and that it does not seem to fit the neighborhood. Plants were addressed as far as height when Consumers drive by, they like to be able to see inside the perimeter. The site is maintained by operations. Drought resistant shrubs would be ideal for the area.

Ken Sherry of 830 Miller spoke about living next door to the location. His first years there himself and a neighbor maintained the grass. The fence shown in the packet is more appealing than what is being shown tonight.

It is recommended that when the applicant returns that the plans reflect exactly of what is being asked and materials that are going to be used.

MOTION by Hardin supported by Stone to approve for a Public Hearing at the next available Planning Commission Meeting.

Ayes: Kendziuk, Hauser, Berletich, Hardin, Murphy, Stone

Nays:

Absent: Jones, Bachmann

MOTION Carried.

7.MISCELLANEOUS

Discussion on Planning Commission Sub Committees

MOTION by Hauser supported by Berletich to establish a Special Committee on Zoning Ordinance Revisions, comprised of four (4) Planning Commissioners appointed by the Chairperson. The committee shall be charged with the following responsibilities as defined in the 2026 Goals and Objectives approved at the March 2, 2026, Planning Commission meeting:

1. **Develop design standard recommendations** for the downtown area.
2. **Develop recommendations to eliminate discrepancies, contradictions, and inconsistencies** within the Zoning Ordinance following City Council's approval of the revised zoning map and districts.
3. **Develop recommendations to improve and streamline the development approval process.**

Committee Appointments:

Commissioners Berletich, Hardin, Hauser, and Kendziuk

Ayes: Kendziuk, Hauser, Berletich, Hardin, Murphy, Stone

Nays:

Absent: Jones, Bachmann

MOTION Carried.

MOTION by Hauser supported by Murphy to establish a Special Committee on Future Planning Applications, comprised of four (4) Planning Commissioners appointed by the Chairperson. The committee shall be charged with the following responsibilities as defined in the 2026 Goals and Objectives approved at the March 2, 2026, Planning Commission meeting:

1. **Fulfill the Capital Improvements Program** requirements listed in Section 65 of the Michigan Planning Enabling Act (MPEA).
2. **Prepare for the 2027 Master Plan**, including:
 - Developing a subarea plan for South Street.
 - Conducting an in-depth housing study.

Committee Appointments:

Commissioners Berletich, Murphy, Stone, and Kendziuk

Ayes: Kendziuk, Hauser, Berletich, Hardin, Murphy, Stone

Nays:

Absent: Jones, Bachmann

MOTION Carried.

Brief discussion on parking and if pass holders could be placed in one spot. Nik stated that you do not want parking passes limited to one area. Everything with parking will be evaluated. Looking for a balance of employee verses patrons. Reserving closer parking for patrons.

8.PUBLIC COMMENT

There was no public online or in person that wished to speak.

9.ADJOURNMENT

Hearing there is no further business to discuss, the meeting was Adjourned at 9:01 P.M.

Respectfully Submitted,
Rose McKinney, Building and Planning Clerk

DRAFT



MCKENNA

April 28, 2026

Planning Commission
City of Rochester
400 Sixth Street
Rochester, MI 48307

Subject: **322-326 Albertson Street/GH Longevity Rochester; Preliminary Plan Review**; Site Plan dated April 9, 2026.

Dear Commissioners:

At the City’s request we have reviewed a proposal from Tara Naby on behalf of FerNab Properties, LLC. to develop a holistic longevity center within the existing buildings at 322-326 Albertson Street. The review was performed based on the Application for Approval of Special Project, site plans, and associated narrative received by the City on April 9, 2026.

The site is located along Albertson Street, bear Pine Street and Paint Creek Trail, parcel ID 15-10-430-010 and 15-10-430-011. The site’s base zoning is within the R-1 District. This project also falls within the Special Projects Area boundary. The R-1 District would not allow for the proposed use, considered a health and physical fitness center for the purpose of the review, on this site. However, per Section 2115 of the Zoning Ordinance, an applicant can seek special project approval from the Planning Commission to facilitate the development of a project on a site, in an innovative manner which cannot be accomplished by a strict application of the regulations of the Zoning Ordinance. A request for special projects approval grants the Planning Commission flexibility and discretionary approval authority for a site plan.

The facility will include a training study/performance lab and longevity programming/recovery suites. The operation of the business will be appointment based.

The comments below are intended to provide an overview of the project’s main elements and identify a list of items that must be addressed on a future submission to the Planning Commission. We anticipate having additional comments once a revised plan is submitted. The comments presented do not constitute a complete site plan review.

REVIEW COMMENTS

1. The location map included in the site plans should be updated to correctly identify the location of the site.
2. Requiring the combination of the two lots involved into a single parcel should be considered as part of the review process. This lot combination can occur at any time, even as plan updates are underway.
3. The parking and bicycle parking shown are compliant with the requirements for a health and fitness center.
4. The new signage shown is compliant with signage standards for the district. Any additional signage proposed will require administrative approval from the City’s Planning Staff.

HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

○ 248.596.0920
F 248.596.0930
MCKA.COM

Communities for real life.



5. The narrative provided indicates that no exterior lighting will be provided. However, the site plans indicate existing and new lighting, and a photometric plan is included. Please update the narrative to ensure consistency with the plans, and provide details for any existing lighting fixtures that will remain on the site to ensure compliance with §2306 of the Zoning Ordinance.
6. Additional details about the existing fence should be provided to ensure sufficient screening between the proposed use and the surrounding residential uses.
7. Please clarify the intended hours of operation and generally anticipated appointment lengths to help better understand potential vehicle trip generation.
8. Please provide additional details related to the proposed green wall and intended maintenance plan, as well as plans for the proposed mural.
9. Please provide a detail showing the proposed screening materials for the relocated refuse area.
10. Please provide information for landscaping maintenance as irrigation is not indicated on the plans.
11. Additional information is needed as part of the Special Projects Approval Standards (outlined in §2115).
 - a. A statement indicating the applicant's ownership or leasehold interest in the property should be included with the application.
 - b. The narrative associated with the application should clearly state the anticipated employment generation and the nature of the work (if it is shift work).
 - c. Information showing the project's impact on the surrounding area, including, but not limited to, such things as parking, traffic, infrastructure and neighboring properties should be included. Detail should be provided beyond a description as "low impact."

RECOMMENDATION

Subject to the items listed in underlined comments above being addressed, we recommend that the Planning Commission schedule the project for consideration of site plan and special exception approval on the next available agenda.

Respectfully,
McKENNA

Lori Morgan
Senior Planner

Cc: Jeremy Peckens
Nik Banda
Jeff Kragt
Rose McKinney

RECEIVED

APR 09 2026

CITY OF ROCHESTER

04/03/2026

Rochester City Planning Commission

RE: Zoning and Development Request for 322-326 Albertson Street

Dear Members of the Planning Commission,

We respectfully submit this letter in support of our application for the proposed development of the property located at 322-326 Albertson Street, Rochester MI.

Our vision for this project is to create a thoughtfully designed, low-impact wellness and longevity center that enhances the surrounding area while providing meaningful value to the community.

The proposed use is intended to be a quiet, appointment-based operation with limited daily traffic, minimal exterior signage, high quality design, and operating hours that are respectful of neighboring properties.

We believe this development request is consistent with the city's long-term beautification planning goals and represents a responsible and appropriate use of the property. The subject property consists of:

LEGAL DESCRIPTION:

LOTS 121 AND 122, AND 1/2 OF VACATED ALLEY ADJACENT, ALBERTSON ADDITION TO THE VILLAGE OF ROCHESTER, OF PART OF THE N.E CORNER OF THE SOUTHEAST 1/4 OF SEC. 10, T.3 N., R.11 E. CITY OF ROCHESTER, OAKLAND COUNTY MICHIGAN AS RECORDED IN LIBER 5 OF PLATS, PAGE 9 OF OAKLAND COUNTY RECORDS.

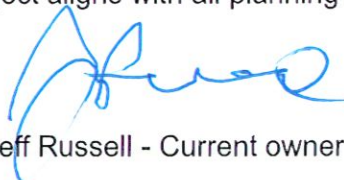
ZONED: R-1 (SPECIAL OVERLAY DISTRICT)

PARCEL ID: 68-15-10-430-010 & 65-15-10-430-011

The anticipated project timeline includes city review and approval between May and July, followed by closing and the start of construction in August. The scope of work is primarily interior, with only aesthetic exterior modifications. Construction is expected to be completed within approximately six to eight months.

We appreciate your time and consideration of this request and welcome the opportunity to answer any questions or provide additional information as needed. We look forward to working collaboratively with the City to ensure this project aligns with all planning and zoning objectives.

Sincerely,



Dr. Thomas Nability- Prospective Developer, Jeff Russell - Current owner

RECEIVED

APR 09 2026

CITY OF ROCHESTER

Project: Longevity Rochester

Location: 322-326 Albertson Street

Mission

Our mission is to help individuals in our community live longer, healthier lives by creating a wellness center that integrates advanced diagnostic testing, science-based fitness training, personalized recovery therapies, and physician-guided longevity programming.

Facility Concept

Two Primary Zones

1. Training Studio/Performance Lab

- Body Composition scans (DEXA)
- Cardiovascular and Metabolic testing (VO2 Max and RMR)
- Semi-private and private science-based cardiovascular training
- Semi-private and private science-based strength training
- Physician supervised weight loss
- Mobility and functional movement

2. Longevity programming /Recovery Suites

- Infrared sauna and Red Light Therapy
- Cold plunge and cryotherapy
- Compression therapy
- Advanced diagnostics (blood bio-marker and gut microbiome analysis)
- Precision Nutrition counseling
- Biological Age assessment
- Physician directed longevity programs

Architectural Design & Neighborhood Value

In addition to its wellness and longevity mission, the facility will be designed to enhance the beautification of Rochester along the Paint Creek trail and add long-term value to the neighborhood.

The building will incorporate:

- Industrial modern architectural design
- Exterior will be preserved historic brick that will cover the cylinder block (main building)
- Large black framed windows for natural light
- Professional landscaping and green space
- Clean contemporary storage shed/ new paint, door, and black metal roof to match main building
- No exterior lighting and minimal signage (simple logo only - no prominent business signage)
- Quiet low-impact use with a spa-like environment

Community Impact

We believe our facility will position Rochester as a leader in proactive health and bring access to innovative wellness to our city. We are committed to creating a facility that improves community health, enhances the surrounding neighborhood, and provides a professional and respectful business environment.

Hours of Operation:

Our scheduling structure helps minimize traffic and maintain compatibility with the surrounding neighborhood. The facility will operate as a private, appointment-based wellness center with services scheduled throughout the day. Most programming occurs during daytime hours and concludes by early evening hours.

Exterior Signage:

In keeping with the quiet, wellness-oriented nature of the center and neighborhood, the exterior signage will be minimal and understated.

A small logo will be integrated into the building design, but the facility will not feature large or prominent commercial signage. The intent is to maintain an appearance that is consistent with the character and privacy of the surrounding neighborhood.

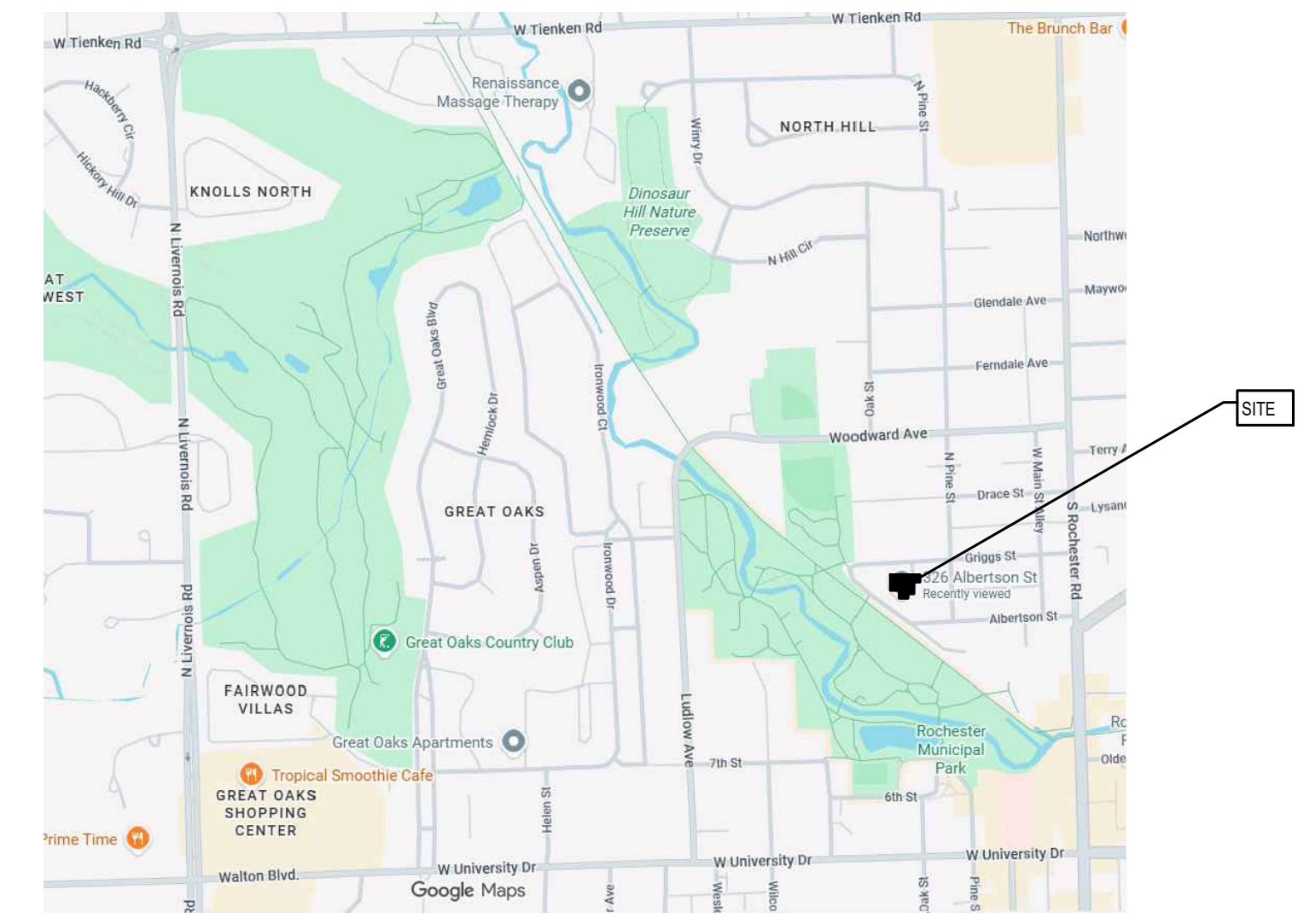
We would like to thank you for your time and consideration in making this vision come to life! We are very passionate about this project and look forward to helping the residents of Rochester live healthier, longer lives!

SYMBOL LEGEND	ABBREVIATION
	DARKENED ARROW INDICATES ELEVATED SECTION
	ELEVATION NUMBER
	SHEET NUMBER WHERE ELEVATION IS LOCATED
	ELEVATION NUMBER
	SHEET NUMBER WHERE ELEVATION IS LOCATED
	DETAIL REFERENCE NUMBER
	SHEET NUMBER WHERE DETAIL IS LOCATED
	DETAIL NUMBER
	DETAIL NAME
	DRAWING SCALE
	SHEET NUMBER WHERE DETAIL IS REFERENCED
	EL. 8'-0" A.F.F. → HEIGHT ABOVE FINISHED FLOOR
	B./CEILING → REFERENCE POINT OF ELEVATION
	8'-0" → HEIGHT ABOVE FINISHED FLOOR
	NOTE: DATUM SYMBOL INDICATES A SPECIFIC REFERENCE HEIGHT OF MATERIAL INDICATED
	NUMBERS DESIGNATE VERTICAL COLUMN LINES LETTERS DESIGNATE HORIZONTAL COLUMN LINES
	PT. → PARTITION TYPE- SEE WALL LEGEND
	A 1 → FIRE RESISTANCE RATING (IN HOURS)
	→ PARTITION CONDITION CODE
	01 → DOOR TYPE DESIGNATION NUMBER - COORDINATE WITH SCHEDULE
	17 → EQUIPMENT DESIGNATION NUMBER - COORDINATE WITH PLAN NOTES
	12 → KEY NOTE DESIGNATION NUMBER - COORDINATE WITH PLAN NOTES
	△ → ADDENDUM DESIGNATION NUMBER
	▽ → BULLETIN DESIGNATION NUMBER
	MATCH LINE REF: A3 → SHEET REFERENCE FOR DRAWING CONTINUATION

WALL & MATERIAL LEGEND	
	ALUMINUM
	STEEL
	WOOD-ROUGH (CONTINUOUS)
	WOOD-ROUGH (NON-CONTINUOUS)
	PLYWOOD
	WOOD FINISH
	EARTH
	C.M.U. (SOLID)
	C.M.U.
	FACE BRICK
	STONE
	SEALANT
	BATT INSULATION
	RIGID INSULATION
	GYPSUM BOARD
	ACOUSTICAL TILE
	CONCRETE
	GRANULAR FILL
@	AT
ACOUST.	ACOUSTICAL
A.C.T.	ACOUSTIC CEILING TILE
ADJ.	ADJACENT
A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
ANOD.	ANODIZED
BD.	BOARD
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
CEM.	CEMENT
C.J.	CONTROL JOINT
CLG.	CEILING
CLG.	CENTER LINE
C.O.	CLEAN OUT
COL.	COLUMN
CONC.	CONCRETE
C.G.	CORNER GUARD
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
CORR.	CORRUGATED
CPT.	CARPET
C.T.	CERAMIC TILE
DET.	DETAIL
DIA.	DIAMETER
DM.	DIMENSION
DN.	DOWN
D.O.	DOOR OPENING
DR.	DOOR
DWG.	DRAWING
EA.	EACH
ELEV.	ELEVATION
E.W.	EACH WAY
EXG.	EXISTING
EXIST.	EXISTING
EXP.	EXPANSION EXPOSED
EXT.	EXTERIOR
F.D.	FLOOR DRAIN
FDN.	FOUNDATION
F.R.P.	FIBER REINFORCED PANELS
FIN.	FINISH
FLR.	FLOOR
F.O.	FACE OF
F.O.S.	FACE OF STUD
FR.	FRAME
FTG.	FOOTING
GA.	GALVE
GALV.	GALVANIZED
GYP.	GYPSUM
HDW.	HARDWARE
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HT.	HEIGHT
I.D.	INSIDE DIAMETER
INSUL.	INSULATION
INT.	INTERIOR
JT.	JOINT
LAV.	LAVATORY
LG.	LONG
L.L.O.	LONG LEG OUTSTANDING
L.L.V.	LONG LEG VERTICAL
MAX.	MAXIMUM
MECH.	MECHANICAL
MET.	METAL
MEZZ.	MEZZANINE
M.I.	MISCELLANEOUS IRON
MIN.	MINIMUM
MISC.	MISCELLANEOUS
M.O.	MASONRY OPENING
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OPNG.	OPENING
OPP.	OPPOSITE
PL.G.	PLATE GLASS
P.L.S.	PLATE STEEL
P.LAM	PLASTIC LAMINATE
P.L.S.	PLASTER
PREFAB.	PREFABRICATED
PROJ.	PROJECT, PROJECTION
P.S.F.	POUNDS PER SQUARE FOOT
PT.	POINT
R.	RISER
R.A.	RETURN AIR
R.B.	RUBBER BASE
R.C.	ROOF CONDUCTOR
R.C.P.	REFLECTED CEILING PLAN
R.D.	ROOF DRAIN
R.F.	RUBBER FLOORING
REINF.	REINFORCED, REINFORCING
REQ'D.	REQUIRED
RFG.	ROOFING
RM.	ROOM
R.S.	ROOF SUMP
R.T.	RUBBER TILE
SAN.	SANITARY
SCHED.	SCHEDULE
SHT.	SHEET
SIM.	SIMILAR
SPEC.	SPECIFICATION
S.S.	SERVICE SINK
STL.	STEEL
STD.	STANDARD
STOR.	STORAGE
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED
SW.	SWITCH
SYM.	SYMMETRICAL
T.	TREAD
T&B	TOP AND BOTTOM
TEL.	TELEPHONE
TERR.	TERRAZZO
T&G	TONGUE AND GROOVE
THK.	THICK, THICKNESS
THRES.	THRESHOLD
T.O.S.	TOP OF STEEL
TYP.	TYPICAL
UC	UNDERCUT
U.N.O.	UNLESS NOTED OTHERWISE
US	UNDERSIDE
V.B.	VINYL BASE
V.C.T.	VINYL COMPOSITION TILE
V.I.F.	VERIFY IN FIELD
W.	WIDE
VERT.	VERTICAL
WAINSC.	WAINSCOT
W.C.	WATER CLOSET
WD.WIN.	WOOD WINDOW
WT.	WEIGHT
W.W.F.	WELDED WIRE FABRIC

"GH Longevity Rochester "

326 Albertson St.
Rochester MI 48307
Site Plan Approval 04-09-26



1 LOCATION MAP
SCALE: N.T.S.



2 FRONT ELEVATION
SCALE: N.T.S.

CODE COMPLIANCE

BUILDING:	2021 MICHIGAN BUILDING CODE
MECHANICAL:	2021 MICHIGAN MECHANICAL CODE
ELECTRICAL:	2023 NATIONAL ELECTRICAL CODE W/ MICHIGAN PART 8 AMENDMENTS
PLUMBING:	2021 MICHIGAN PLUMBING CODE
CODE:	2021 MICHIGAN BUILDING CODE
ACCESSIBILITY:	2017 ICC A117.1 ACCESSIBLE AND USABLE BUILDING AND FACILITIES
FUEL GAS:	2021 INTERNATIONAL FUEL GAS CODE
FIRE:	2018 INTERNATIONAL FIRE CODE
FIRE SUPPRESSION:	2019 NFPA 13 AND 13R
FIRE ALARM:	2019 NFPA 72

CONSTRUCTION TYPE: II B
USE GROUP: B/A-3
BUILDING AREA: 7,500 S.F.
FIRE PROTECTION: YES

OCCUPANCY:

BY CODE	43 S.F. / 150 =	1 PERSON
RECEPTION:	112 S.F. / 60 =	2 PERSONS
MERCANTILE:	977 S.F. / 50 =	20 PERSONS
STORAGE:	720 S.F. / 100 =	3 PERSONS
OFFICE:	715 S.F. / 150 =	5 PERSONS
RECEPTION:	37 S.F. / 150 =	1 PERSONS
OFFICE:	626 S.F. / 150 =	4 PERSONS
KITCHEN:	41 S.F. / 15 =	3 PERSONS
WOMEN'S LOCKER:	32 S.F. / 50 =	1 PERSONS
MEN'S LOCKER:	21 S.F. / 50 =	1 PERSONS
TOTAL =		41 PERSONS

SHEET SCHEDULE

SHT. NO.	DESCRIPTION
A000	COVER SHEET
1 of 1	SURVEY
A010	EXISTING / DEMO SITE PLAN
A011	ARCHITECTURAL SITE PLAN
A201	LANDSCAPE PLAN
PH1	PHOTOMETRIC PLAN
A100	EXISTING DEMO FLOOR PLAN
A101	PROPOSED FLOOR PLAN
A103	LIFE SAFETY PLAN
A200	EXISTING DEMO ELEVATIONS
A201	PROPOSED ELEVATIONS
A202	COLOR ELEVATIONS
A204	RENDERINGS
A205	RENDERINGS
A206	OPTIONAL RENDERINGS

MOUNTING SCHEDULE						ADA
WALL MOUNTED ACCESSORIES						



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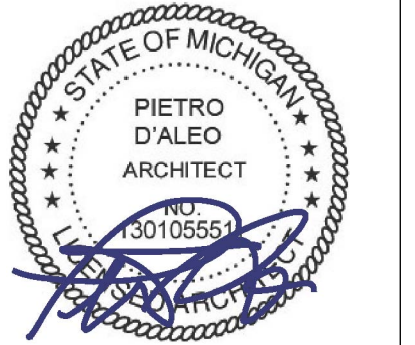
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GH LONGEVITY ROCHESTER
ROCHESTER, MI



RETROFIT BUILDING

322 & 326 ALBERTSON, ROCHESTER, MI 48307

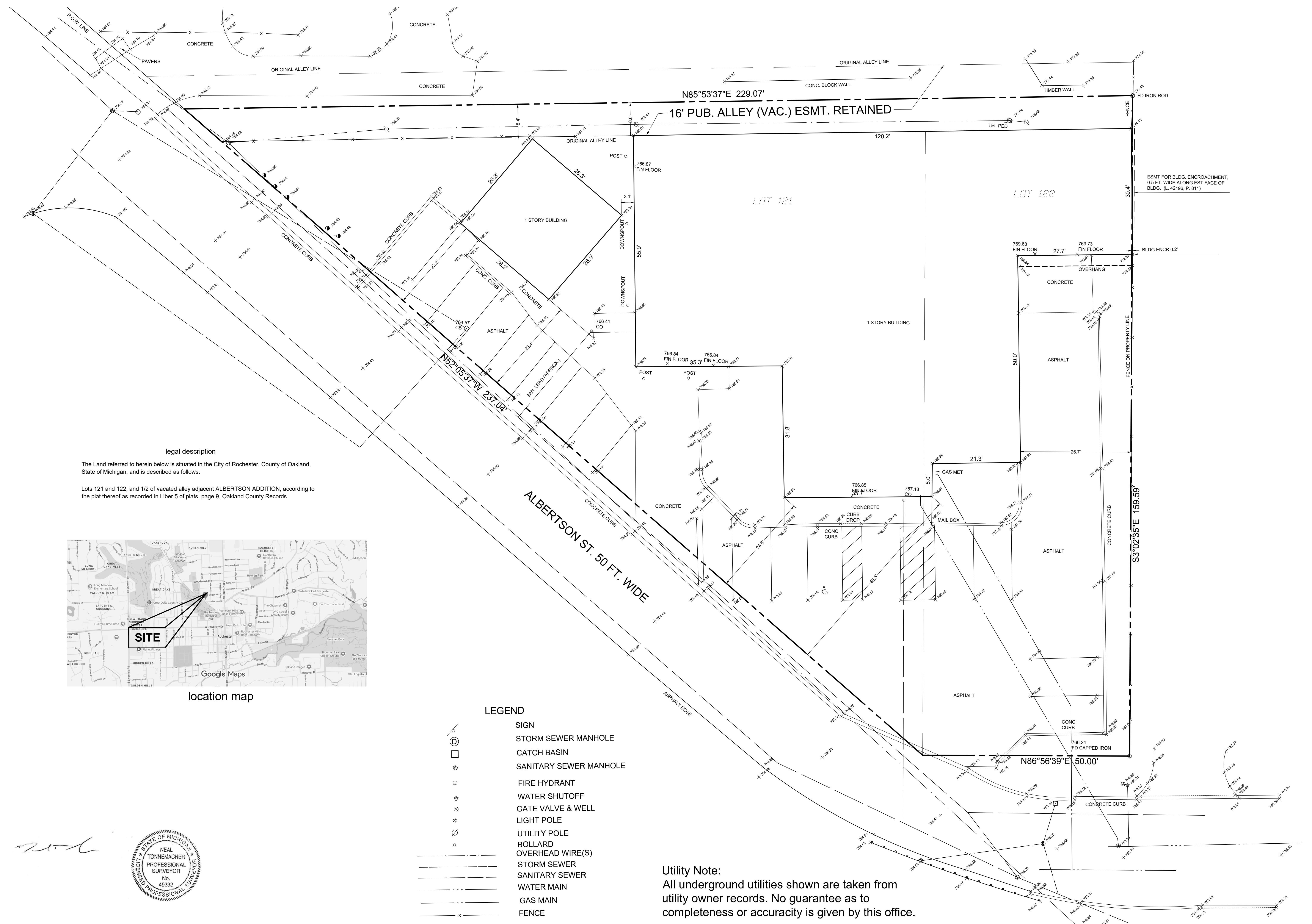


ISSUANCE:
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 MUNI SUBMITTAL
 CONSTRUCTION
 OTHER:
DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION UNLESS INDICATED

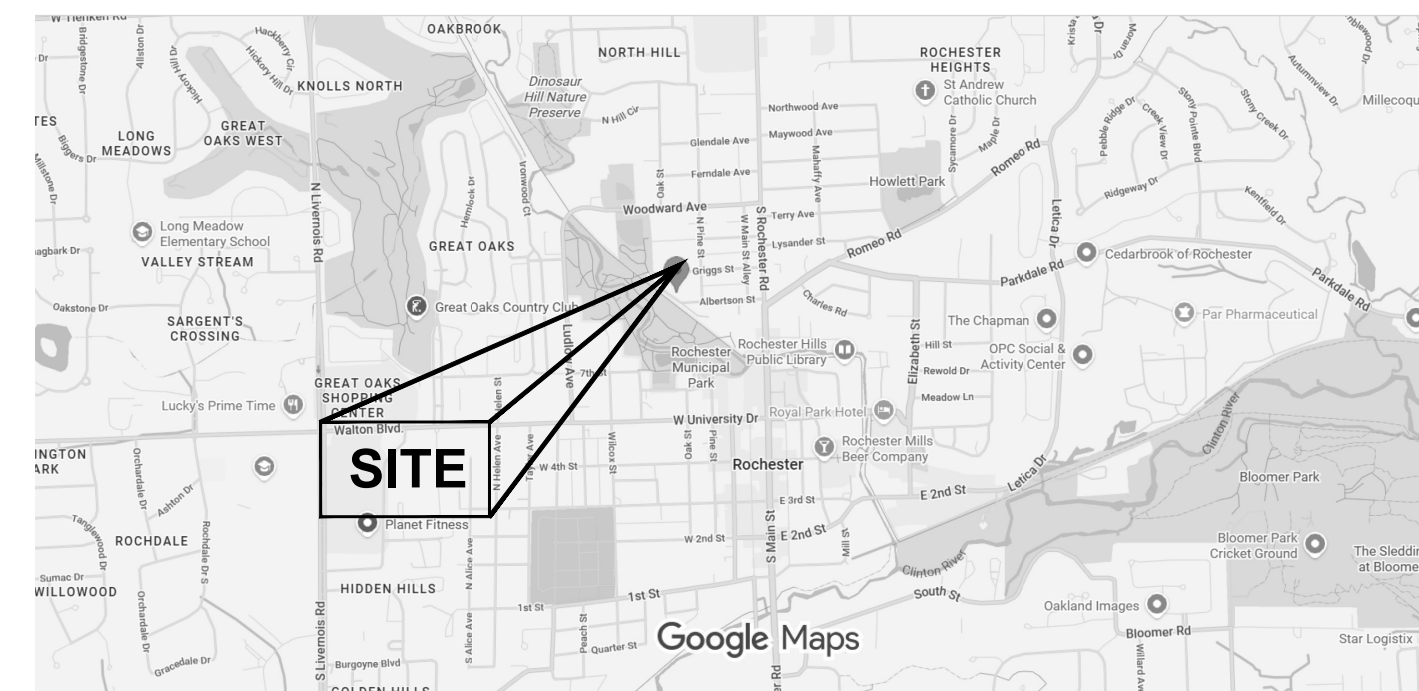
NO.	DESCRIPTION	DATE
1	SITE PLAN REVIEW	04/09/2026

ISSUE DATE: 04-09-26
DB: RA
CB: PD
SHEET: A000
PROJECT NO: 26-1212

COVER SHEET



legal description
 The Land referred to herein below is situated in the City of Rochester, County of Oakland, State of Michigan, and is described as follows:
 Lots 121 and 122, and 1/2 of vacated alley adjacent ALBERTSON ADDITION, according to the plat thereof as recorded in Liber 5 of plats, page 9, Oakland County Records

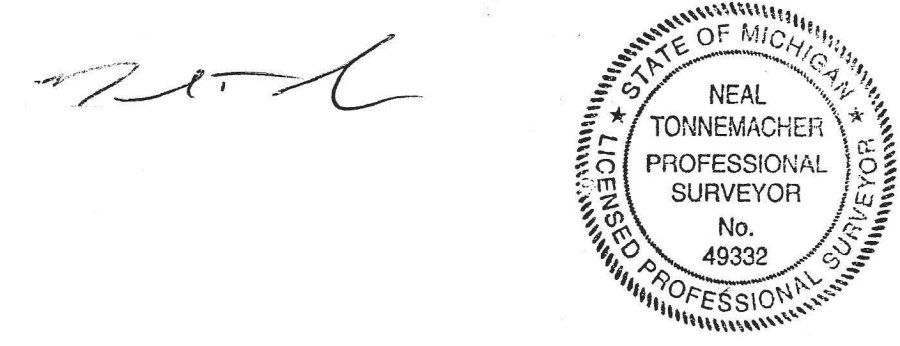


location map

LEGEND

- SIGN
- STORM SEWER MANHOLE
- CATCH BASIN
- SANITARY SEWER MANHOLE
- FIRE HYDRANT
- WATER SHUTOFF
- GATE VALVE & WELL
- LIGHT POLE
- UTILITY POLE
- BOLLARD
- OVERHEAD WIRE(S)
- STORM SEWER
- SANITARY SEWER
- WATER MAIN
- GAS MAIN
- FENCE

Utility Note:
 All underground utilities shown are taken from utility owner records. No guarantee as to completeness or accuracy is given by this office.



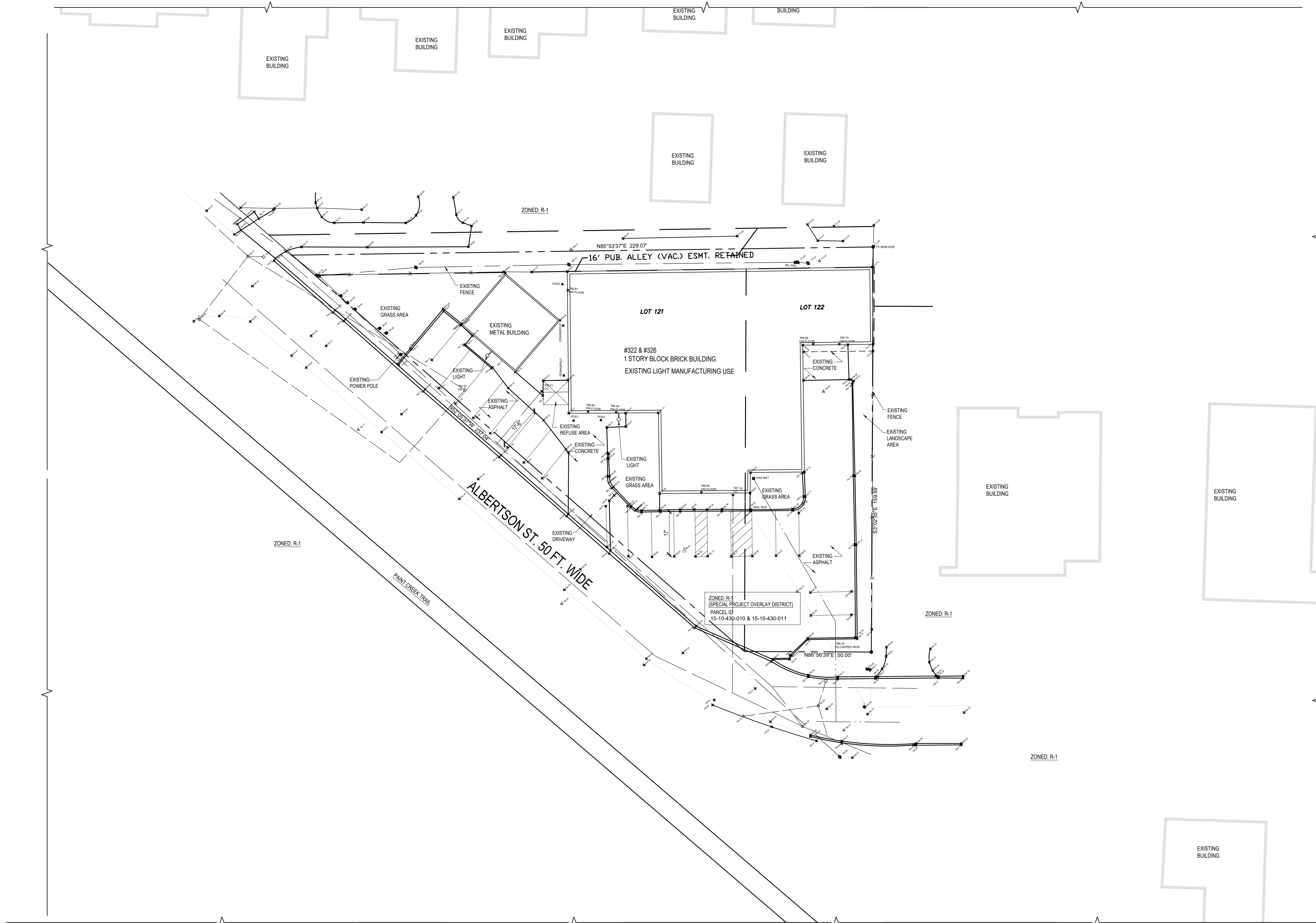
MASON BROWNS ASSOCIATES, LLC
 CIVIL ENGINEERS & SURVEYORS
 2708 BRIDLE ROAD
 BLOOMFIELD HILLS, MICHIGAN 48304
 (248) 425-9789 mason_brown@abcglobal.net

FerNab Properties, LLC
 PLAN OF EXISTING CONDITIONS

DADC COLLABORATIVE

REVISIONS:
 DESIGN: --
 DRAWN: mb
 CHECKED: MB

26-011DWG
 SCALE: 1"=10'
 DATE: 04-06-2026
 JOB NO. 26-011
 SHEET 1



1
A010 EXISTING / DEMO SITE PLAN
SCALE: 1" = 20'-0"
NORTH



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ROCHESTER, MI



RETROFIT BUILDING

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ROCHESTER, MI 48307



ISSUANCE:
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NO.	DESCRIPTION	DATE
1	SITE PLAN REVIEW	04/09/2026

ISSUE DATE: 04-09-26
 DB: RA
 CB: PD
 SHEET: A0.1.0
 PROJECT NO: 26-1212

EXISTING/DEMO SITE PLAN

LEGAL DESCRIPTION:
 LOTS 121 AND 122, AND 1/2 OF VACATED ALLEY ADJACENT, ALBERTSON ADDITION TO THE VILLAGE OF ROCHESTER, OF PART OF THE N.E. CORNER OF THE SOUTHEAST 1/4 OF SEC. 10, T.3 N., R.11 E. CITY OF ROCHESTER, OAKLAND COUNTY MICHIGAN AS RECORDED IN LIBER 5 OF PLATS, PAGE 9 OF OAKLAND COUNTY RECORDS.

ZONED: R-1
(SPECIAL PROJECT OVERLAY DISTRICT)
 PARCEL ID:
 88-15-10-430-010 & 65-15-10-430-011

PARKING CALCULATIONS:
HEALTH AND PHYSICAL FITNESS CENTERS:
 1 SPACE PER 4 PERSONS BASED ON MAXIMUM CAPACITY + 1 SPACE PER EMPLOYEE ON THE LARGEST EMPLOYMENT SHIFT.
 MAX OCCUPANT LOAD = 66 PERSONS
 MAX NO. EMPLOYEES = 4 PERSONS

PARKING REQUIRED = 18 SPACES
 PARKING PROVIDED = 18 SPACES

PARKING SIZES:
REQUIRED:

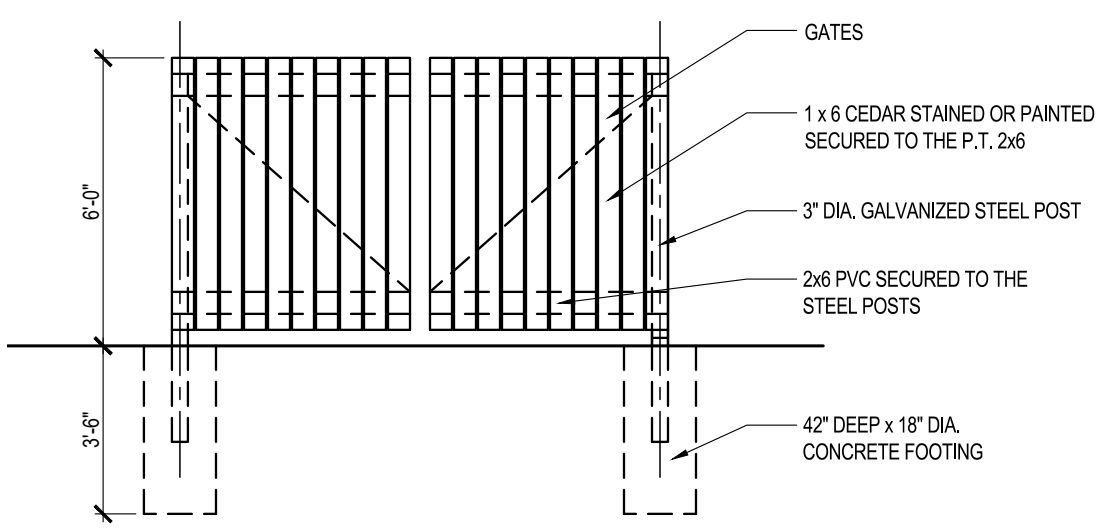
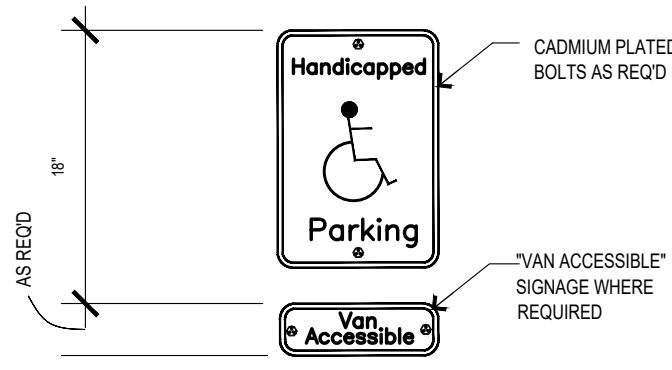
- 9'x18'
- IN A PARKING LOT OF MORE THAN 12 PARKING SPACES, UP TO 25% OF THE SPACES CAN BE DESIGNATED FOR SMALL CARS, 9'x16'

PROVIDED:

- 18 SPACES 9'x18'
- 2 SPACES 9'x 16'

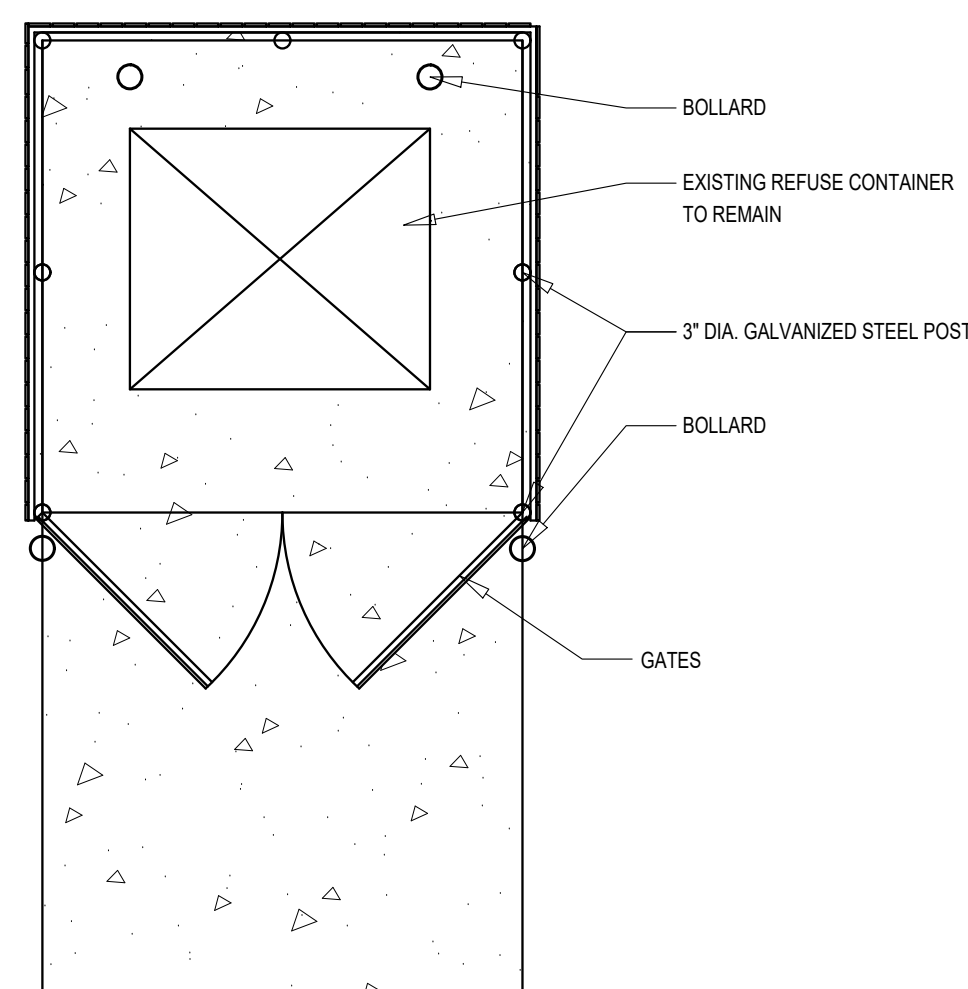
BICYCLE PARKING:
 1SPACE FOR EVERY 20 PARKING SPOTS

BICYCLE PARKING REQUIRED = 1 SPACE
 PARKING PROVIDED = 1 SPACE



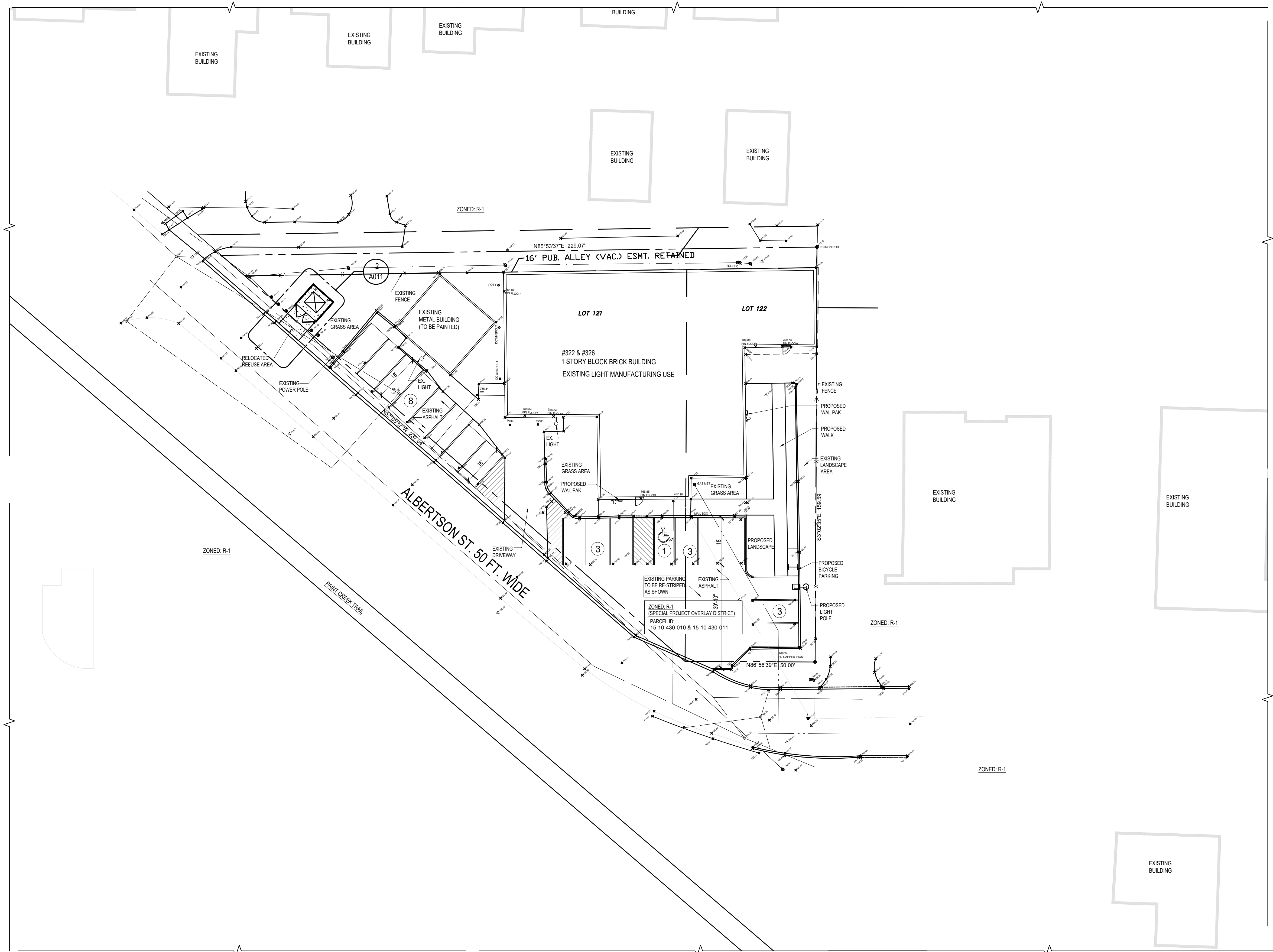
3 REFUSE ELEVATION

A011 SCALE: 1/2" = 1'-0"



2 REFUSE FLOOR PLAN

A011 SCALE: 1/4" = 1'-0"



1 PROPOSED SITE PLAN

A011 SCALE: 1" = 20'-0"

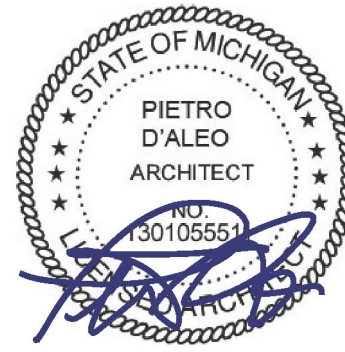
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 s-m-associates.com

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 ROCHESTER, MI



RETROFIT BUILDING
 322 & 326 ALBERTSON,
 ROCHESTER, MI 48307



ISSUANCE:

- SCHEMATIC
- BIDDING
- MUNI SUBMITTAL
- CONSTRUCTION
- OTHER:

DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION UNLESS INDICATED

NO.	DESCRIPTION	DATE
1	SITE PLAN REVIEW	04/09/2026

ISSUE DATE: 04-09-26
 DB: RA
 CB: PD
 SHEET: A0.1.1
 PROJECT NO.: 26-1212

PROPOSED SITE PLAN

D-Series Size 1 LED Area Luminaire

Specifications

- Depth (D1): 9"
- Depth (D2): 11.5"
- Height: 1.5"
- Width: 11.5"
- Weight: 13.5 lbs

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower cover density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65%, and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBX

Series	Part	Color Temperature	Color Rendering Index	Beam Spread	Mounting	Shipped Included	Shipped Separately
DSX1 LED	P7	4000K	90CRI	70°	10'	SPA	NLTAIR2
	P8	4000K	90CRI	70°	10'	SPA	NLTAIR2
	P9	4000K	90CRI	70°	10'	SPA	NLTAIR2
	P10	4000K	90CRI	70°	10'	SPA	NLTAIR2

WDGE2 LED Architectural Wall Sconce Visual Comfort Optic

Specifications

- Depth (D1): 9"
- Depth (D2): 11.5"
- Height: 1.5"
- Width: 11.5"
- Weight: 13.5 lbs

Introduction

The WDGE2 LED family is designed to meet specific every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean, minimalist design comes in four sizes with luminaire packages ranging from 1200 to 2500 lumens, providing a true site-wide solution. Embedded with Light* AIR wireless controls, the WDGE2 family provides additional energy savings and code compliance.

WDGE2 LED Family Overview

Luminaire	Optic	Standard Efficacy	Color CRI	Beam Spread	Height	Width	Depth	Weight	Approximate Lumens (90°)
WDGE2 LED	Visual Comfort	100	90	Standard / Light	1.5"	11.5"	9"	13.5	1,200
WDGE2 LED	Precision Reflector	100	90	Standard / Light	1.5"	11.5"	9"	13.5	2,000
WDGE2 LED	Precision Reflector	100	90	Standard / Light	1.5"	11.5"	9"	13.5	4,000
WDGE2 LED	Precision Reflector	100	90	Standard / Light	1.5"	11.5"	9"	13.5	8,000

Ordering Information

EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBX

Series	Package	Color Temperature	Color Rendering Index	Beam Spread	Mounting	Shipped Included	Shipped Separately
WDGE2 LED	P3	4000K	80CRI	VF	10'	SRM	SRM
	P4	4000K	80CRI	VF	10'	SRM	SRM
	P5	4000K	80CRI	VF	10'	SRM	SRM
	P6	4000K	80CRI	VF	10'	SRM	SRM

General Note

- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 5'-0" AT PROPERTY LINE & GRADE

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2019. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT CONTROLS@GASSERBUSH.COM OR 734-266-6705.

Alternates Note

THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

Ordering Note

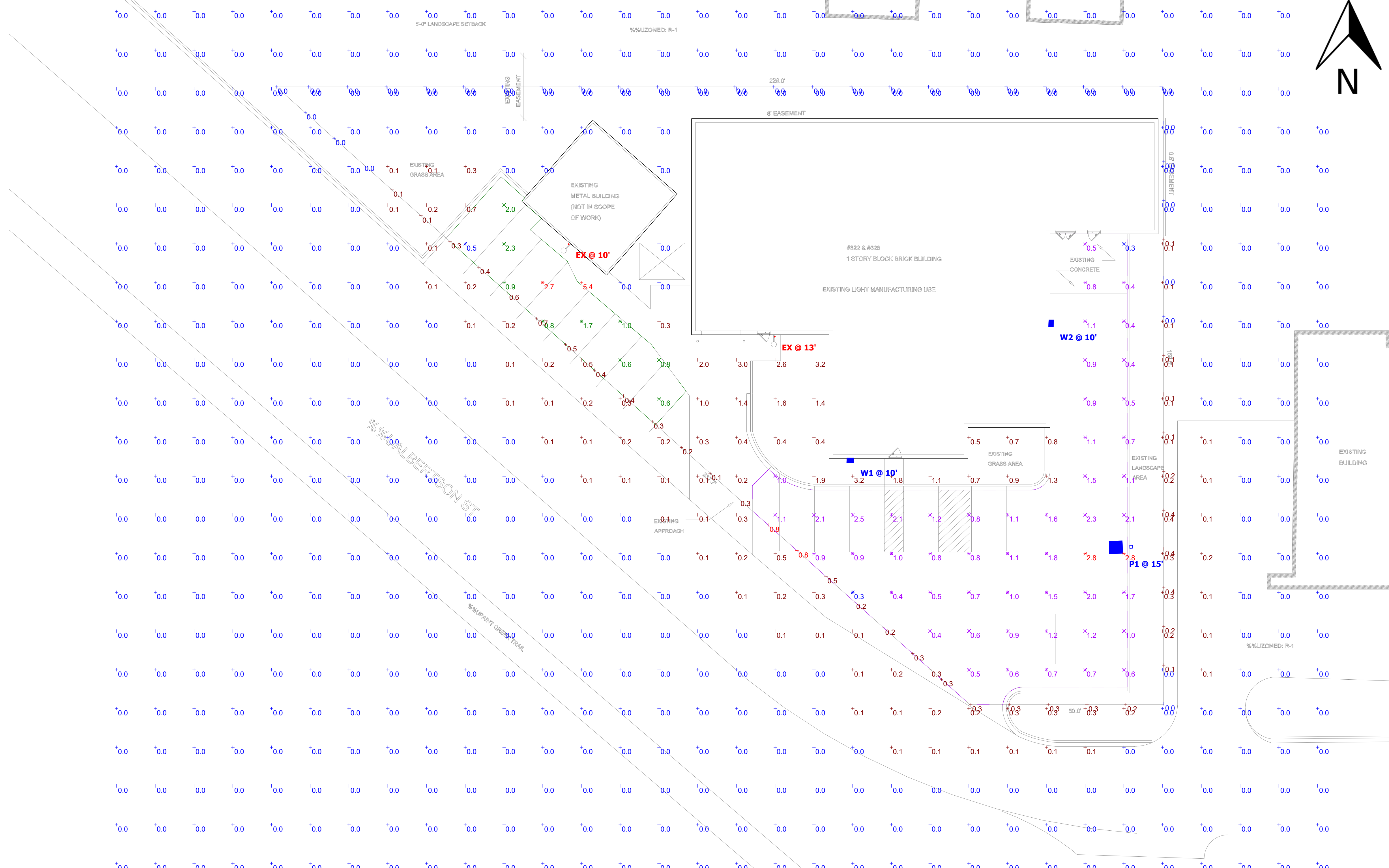
FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Mounting Height Note

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Drawing Note

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.



Schedule

Symbol	Label	QTY	Catalog Number	Description	Lumens per Lamp	LLF	Wattage
○	EX	2	EXISTING	TO BE CONFIRMED BY OWNER	5063	0.85	34
□	P1	1	DSX1 LED P1 40K 80CRI TFTM HS	D-Series Size 1 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Forward Throw Houseside Shield	5971	0.9	50.9015
□	W1	1	WDGE2 LED P3 40K 80CRI TFTM	WDGE2 LED WITH P3 - PERFORMANCE PACKAGE, 4000K, 80CRI, TYPE FORWARD THROW MEDIUM OPTIC	3166	0.9	32.1375
□	W2	1	WDGE2 LED P1 40K 80CRI T3M	WDGE2 LED WITH P1 - PERFORMANCE PACKAGE, 4000K, 80CRI, TYPE 3 MEDIUM OPTIC	1265	0.9	11.1658

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overall/Grade	+	0.2 fc	5.4 fc	0.0 fc	N/A	N/A
Parking 1	X	1.3 fc	2.7 fc	0.5 fc	5.4:1	2.6:1
Parking 2	X	1.1 fc	2.8 fc	0.3 fc	9.3:1	3.7:1
Property Line	+	0.2 fc	0.8 fc	0.0 fc	N/A	N/A

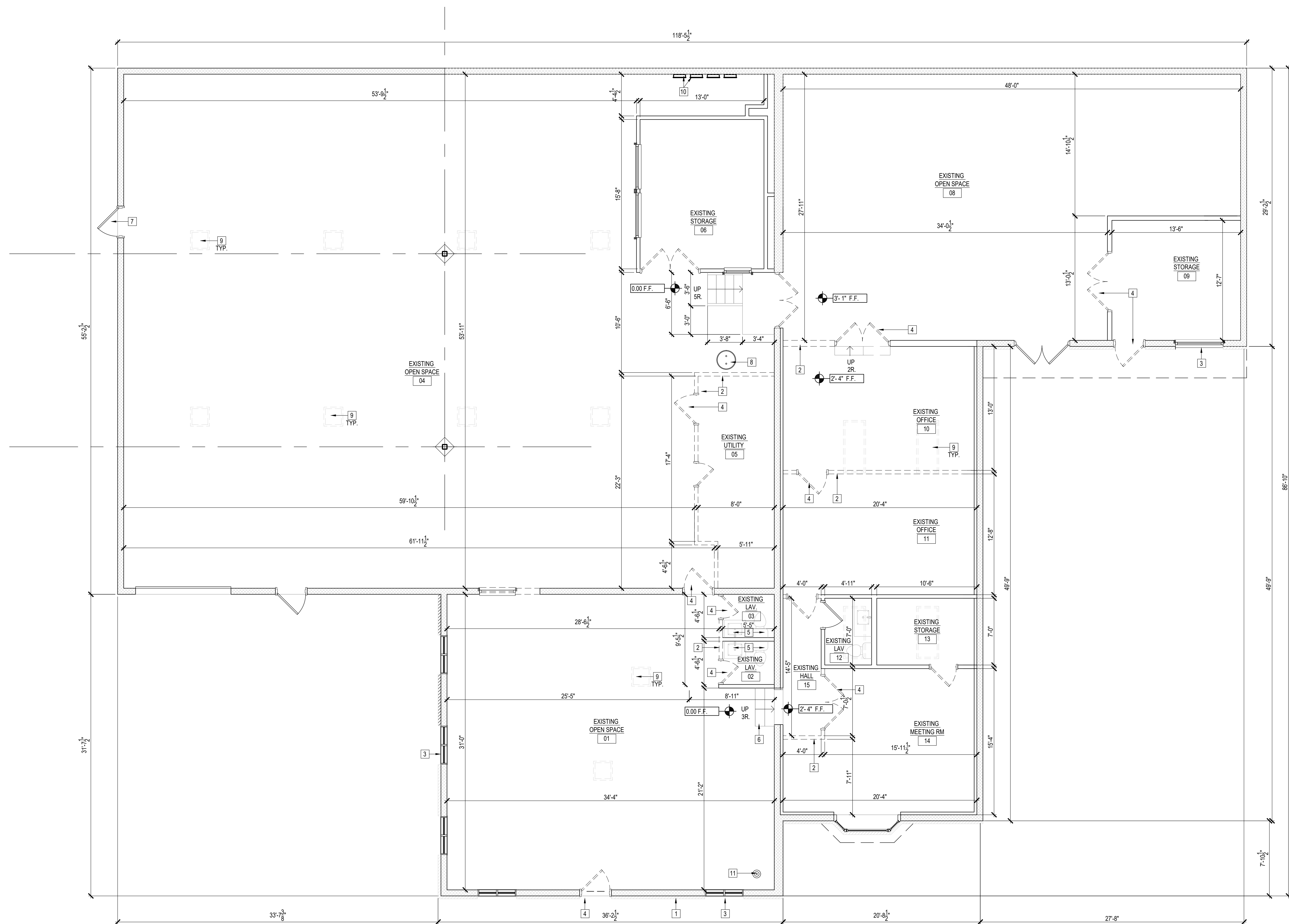
Plan View
Scale - 1" = 14ft



Designer
BK
Date
03/11/2026
Scale
Not to Scale
Drawing No.
#26-55731



326 ALBERTSON - GYM
EXTERIOR PHOTOMETRIC PLAN
GASSER BUSH ASSOCIATES
WWW.GASSERBUSH.COM



- DEMO WALL LEGEND**
- EXISTING WALL TO BE REMOVED
 - EXISTING WALL TO REMAIN

- DOOR LEGEND**
- NEW DOOR
 - EXISTING DOOR TO REMAIN
 - EXISTING DOOR TO BE REMOVED

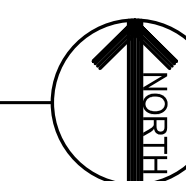
NOTES: GENERAL DEMOLITION

1. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS.
2. PROVIDE APPROPRIATE BARRICADES, SIGNAGE, AND OTHER SAFETY PRECAUTIONS SO AS TO PROTECT VISITORS, TRADESMAN, AND EXISTING REMAINING CONSTRUCTION.
3. COMPLETELY REMOVE ALL WORK AND RELATED WORK IN AREAS DESIGNATED ON THE PLAN.
4. DISCONNECT, REMOVE, AND CAP ALL EXISTING UTILITIES AS INDICATED AND REQUIRED TO PERMIT NEW WORK. ALL WORK TO BE COMPLETED BY APPROPRIATE EXPERIENCED TRADES (I.E. ELECTRICAL DEMOLITION BY ELECTRICIANS, ETC.)
5. RESTORE EXISTING AREAS WHICH ARE DAMAGED DURING CONSTRUCTION. MATCH EXISTING MATERIAL AND FINISHES.
6. DO NOT USE EXPLOSIVES OR UNSAFE DEMOLITION METHODS.
7. REMOVE ALL DEBRIS FROM THE SITE. DO NOT BURN REFUSE ON SITE. MATERIAL TO BE DISPOSED TO AN APPROVED SITE.
8. COORDINATE SALVAGEABLE ITEMS WITH THE OWNER. STORE SALVAGEABLE ITEMS WITHIN DESIGNATED AREAS.

EXISTING / DEMO FLOOR PLAN KEYED NOTES

1. EXISTING EXTERIOR WALL.
2. EXISTING INTERIOR WALL TO BE REMOVED.
3. EXISTING WINDOW.
4. EXISTING DOOR TO BE REMOVED.
5. EXISTING PARTITION TO BE REMOVED.
6. EXISTING STAIR.
7. EXISTING DOOR TO BE PAINTED.
8. EXISTING WATER HEATER TO BE RELOCATED.
9. EXISTING SINK/STOVE.
10. EXISTING ELECTRICAL EQUIPMENT.
11. EXISTING WATER MAIN.

1
A100 EXISTING/DEMO FLOOR PLAN
SCALE: 3/16" = 1'-0"



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RETROFIT BUILDING

322 & 326 ALBERTSON,
ROCHESTER, MI 48307

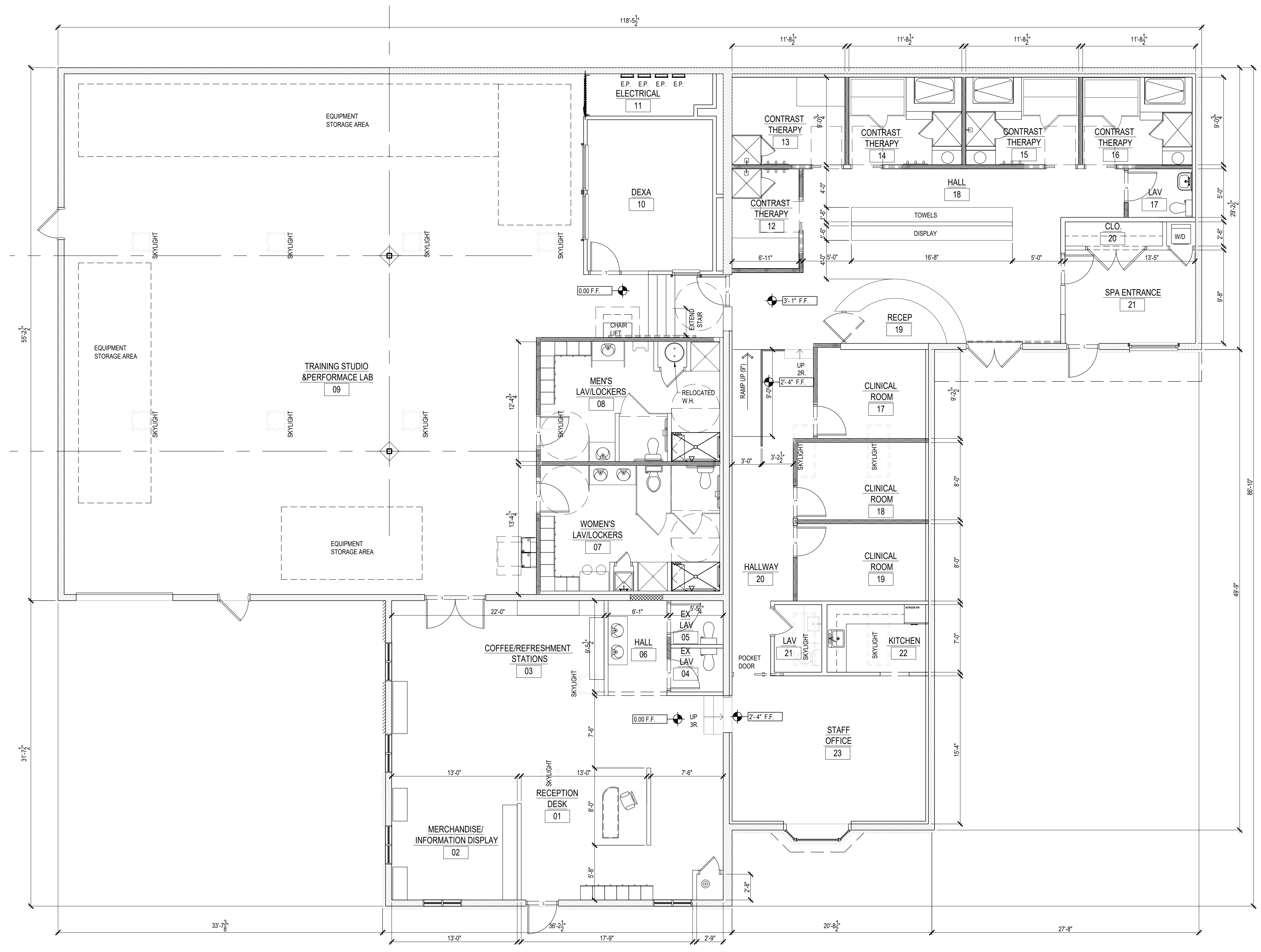


ISSUANCE:
 SCHEMATIC
 BIDDING
 MUNI SUBMITTAL
 CONSTRUCTION
 OTHER:
 DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION UNLESS INDICATED

NO.	DESCRIPTION	DATE
1	SITE PLAN REVIEW	04/09/2008

ISSUE DATE: 04-09-26
 DB: RA
 CB: PD
 SHEET: A100
 PROJECT NO.: 26-1212

EXISTING FLOOR PLAN



- TYPICAL NOTES:**
- HARDWARE SELECTED BY OWNER
 - ALL INTERIOR FINISH AND TRIM SHALL COMPLY W/ LOCAL ORDINANCES, CURRENT MICHIGAN BUILDING CODE SECTION, CHAPTER 8
 - CLASS C: FLAME SPREAD 76-200, SMOKE DEVELOPMENT 0-450. CONTRACTOR TO SUBMIT DOCS AS REQUIRED. PRIOR TO INSTALLATION OF ANY PROPOSED APPLICABLE INTERIOR WALL AND CEILING FINISHES, PROVIDE TO THE CITY'S FIELD INSPECTOR DOCUMENTATION SHOWING THEIR CLASS, FLAME SPREAD AND SMOKE DEVELOPED INDEXES.
 - INSULATION FLAME SPREAD INDEX REQUIREMENTS SHALL BE IN ACCORDANCE WITH ASTM E 84.
 - CONCEALED OR EXPOSED INSTALLATION SHALL HAVE RATING OF NOT MORE THAN 25. INSULATION BETWEEN 2 LAYERS OF NONCOMBUSTIBLE MATERIALS WHO INTERVENING AIRSPACE SHALL BE ALLOWED TO HAVE A FLAME SPREAD INDEX OF NOT MORE THEN 100.
 - SMOKE DEVELOPMENT INDEX RATING OF NOT MORE THAN 450.
 - ALL INSULATION TO BE PROPERLY LABELED
 - CONTRACTOR TO PROVIDE FIRE EXTINGUISHER ON JOB AS REQUIRED BY BUILDING INSPECTOR.
 - PROVIDE MIN. (2) 5# ABC EXTINGUISHERS IN ACCORDANCE WITH NFPA 10 IN EACH TENANT SPACE. LOCATION TO BE VERIFIED WITH BUILDING INSPECTOR.
 - PROVIDE INTERNATIONAL SYMBOL FOR HANDICAPPED SIGNS FOR DIRECTION ON RESTROOM ACCESSIBILITY.
 - ALL GLAZING IN HAZARDOUS AREA SHALL BE SAFETY GLASS AND COMPLY WITH CURRENT M.B.C. SEC 2408.2 LABELS AND GLASS COMP. WITH CPSC 16CFR PART 1201.

- GENERAL NOTES:**
- DOOR HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATIONS TO BE AT 48" A.F.F. MAX. AND 34" A.F.F. MIN.
 - DOORS TO HAZARDOUS AREAS TO HAVE HARDWARE W/ ROUGH FINISH
 - ALL EXIT DOORS TO HAVE PANIC DEVICE CLOSERS AND SHALL NOT LOCK AGAINST EGRESS OR OTHER HARDWARE COMPLYING W/ SEC. 008.1.8.
 - LOCKING DEVICES TO BE ACTIVATED BY NO MORE THEN ONE-HALF TURN, ACTIVATED BY LEVER TYPE.
 - ALL DOOR HANDLES TO BE LEVER TYPE.
 - ALL VERTICAL CHANGES IN FLOOR ELEVATION, INCLUDING DOOR THRESHOLDS, SHALL BE LIMITED TO 1/4" UNLESS A 1 TO 2 RISE-TO-RUN RATIO PROVIDED IN THE TRANSITION BETWEEN ELEVATIONS, IN WHICH A 1/2" MAX. DIFFERENCE IS ALLOWED. SAID CHANGES IN ELEVATION SHALL COMPLY WITH ICC/ANSI A117.1-2003.
 - ALL MILLWORK/CASEWORK COUNTERTOPS HAVE A MAXIMUM 3/4" HEIGHT A.F.F. UNLESS NOTED OTHERWISE.



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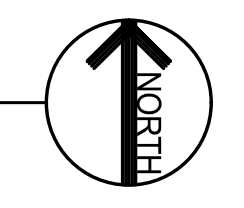
- ISSUANCE:**
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 - BIDDING
 - MUNI SUBMITTAL
 - CONSTRUCTION
 - OTHER:
- DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION UNLESS INDICATED

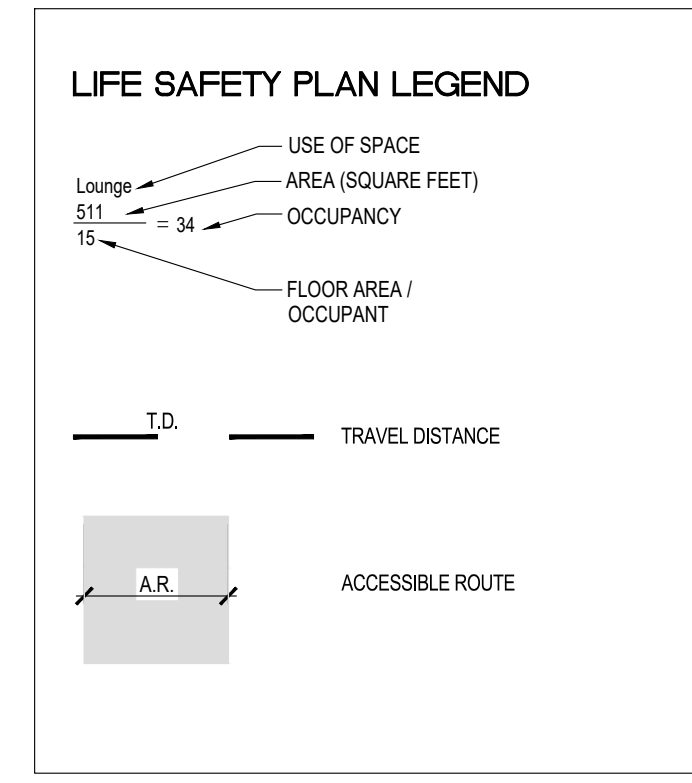
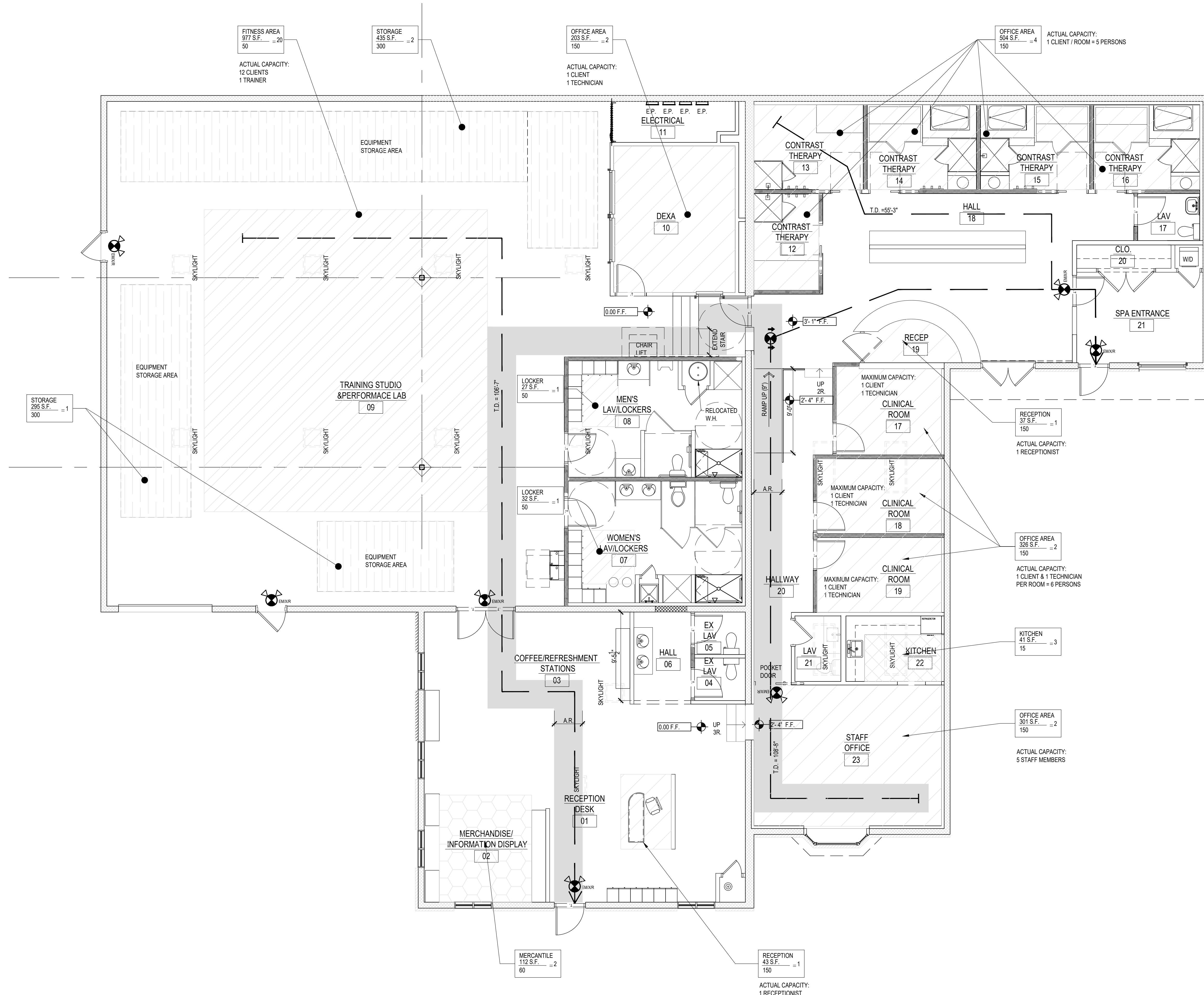
NO.	DESCRIPTION	DATE
1	SITE PLAN REVIEW	04/09/2026

ISSUE DATE: 04-09-26
DB: RA
CB: PD
SHEET: A101
PROJECT NO: 26-1212

PROPOSED FLOOR PLAN

1 PROPOSED FLOOR PLAN
A101 SCALE: 3/16" = 1'-0"





TRAVEL DISTANCE CALCULATION:
(MBC-2021, TABLE 1017.2)

MULTIPLE EXITS:
TRAVEL DISTANCE ALLOWED (TABLE 1017.2) = 250'-0"
TRAVEL DISTANCE PROVIDED = 108'-8"

EXIT CALCULATIONS:
(MBC-2021, TABLE 1006.2.1 & 1008.3.1)

EXITS REQUIRED:
1 - 49 PERSONS = 1 EXIT
50 - 500 PERSONS = 2 EXITS
EXITS PROVIDED = 4 EXITS

LIFE SAFETY PLAN GENERAL NOTES:

- EVERY ROOM OR SPACE THAT IS ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT ACCESS DOORWAY. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER AUTHORIZED AGENT. (1004.3)
- EGRESS SHALL NOT PASS THROUGH KITCHENS, STORAGE ROOMS, CLOSETS OR SIMILAR SPACES. (1014.2)
- PANIC AND FIRE EXIT HARDWARE, WHERE INSTALLED ON DOORS IN THIS BUILDING SHALL SATISFY THE FOLLOWING (1008.1.10):
 - THE ACTUATION PORTION OF THE RELEASING DEVICE SHALL EXTEND AT LEAST ONE-HALF OF THE DOOR LEAF WIDTH.
 - THE MAXIMUM UNLATCHING FORCE DOES NOT EXCEED 15 POUNDS (6.8 KG).
 - PIVOTED OR BALANCED DOORS SHALL BE OF THE PUSH-PAD TYPE WHERE PANIC HARDWARE IS REQUIRED AND THE PAD SHALL NOT EXTEND ACROSS MORE THAN ONE-HALF OF THE DOOR WIDTH, MEASURED FROM THE LATCH SIDE.
 - PANIC HARDWARE LISTED IN ACCORDANCE WITH UL 305.
 - FIRE EXIT HARDWARE LISTED IN ACCORDANCE WITH UL 10C AND UL 305.
- STRUCTURAL ELEMENTS, FIXTURES OR FURNISHINGS SHALL NOT PROJECT HORIZONTALLY FROM EITHER SIDE MORE THAN 4 INCHES (100 MM) OVER ANY WALKING SURFACE BETWEEN 27 INCHES (685 MM) AND 80 INCHES (2030 MM) ABOVE THE WALKING SURFACE. EXCEPTION: HANDRAILS SERVING STAIRS AND RAMP ARE PERMITTED TO PROTRUDE 4 1/2 INCHES (115 MM) FROM THE WALL. (1003.3.3)
- THE PATH OF EGRESS TRAVEL EXITS AND WITHIN EXITS IN THIS BUILDING SHALL BE IDENTIFIED BY EXIT SIGNS CONFORMING TO THE REQUIREMENTS OF SECTION 1011 AND AS NOTED BELOW:
 - EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL.
 - EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL.
 - NO POINT IN A CORRIDOR SHALL BE MORE THAN 100 FT (30.5 M) OR THE LISTED VIEWING DISTANCE FOR THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.
- WHERE KEY OPERATED LOCKING DEVICES ARE USED, POST A SIGN ON OR ADJACENT TO THE REQUIRED MAIN EXIT DOOR WITH 1 INCH (25 MM) LETTERING STATING THAT "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED". (1008.1.9.3)
- EGRESS DOORS OR GATES SHALL BE OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES (860 MM) TO 48 INCHES (1220 MM) ABOVE FINISHED FLOOR. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE NOT PERMITTED. THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION. (1008.1.9)
- LANDINGS SHALL BE PROVIDED ON EACH SIDE OF DOORS AND SUCH LANDINGS SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR LANDINGS SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE DOOR AND LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 44 INCHES (1120 MM). (1008.1.5, 1008.1.6)



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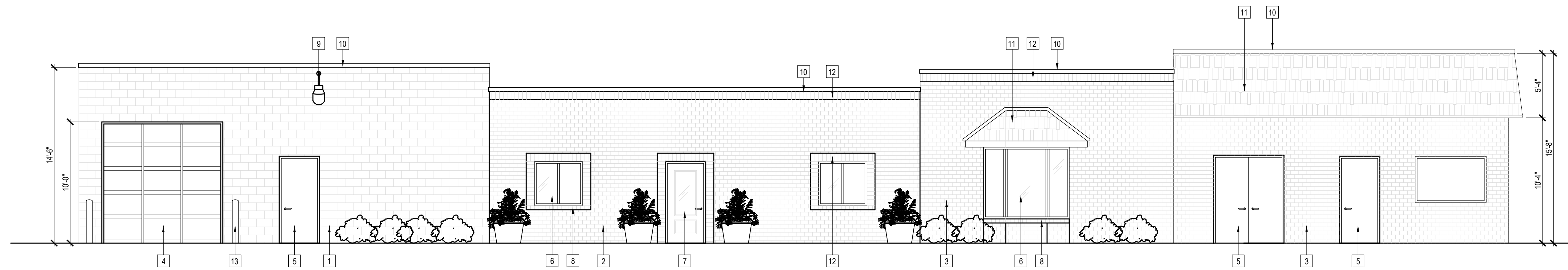


ISSUANCE:
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NO.	DATE	DESCRIPTION
1	04/09/2026	SITE PLAN REVIEW

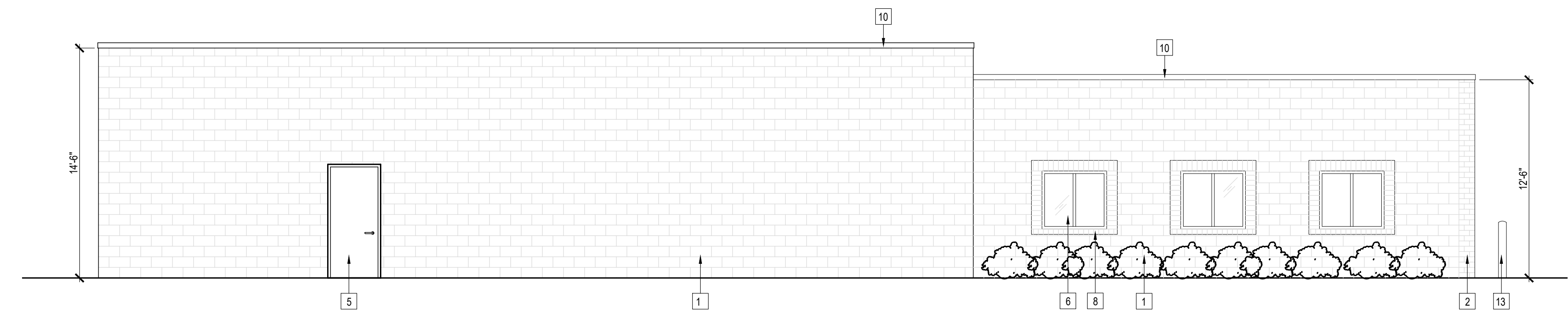
ISSUE DATE: 04-09-26
DB: RA
CB: PD
SHEET: A102
PROJECT NO: 26-1212

1 LIFE SAFETY PLAN
A102 SCALE: 3/16" = 1'-0" NORTH

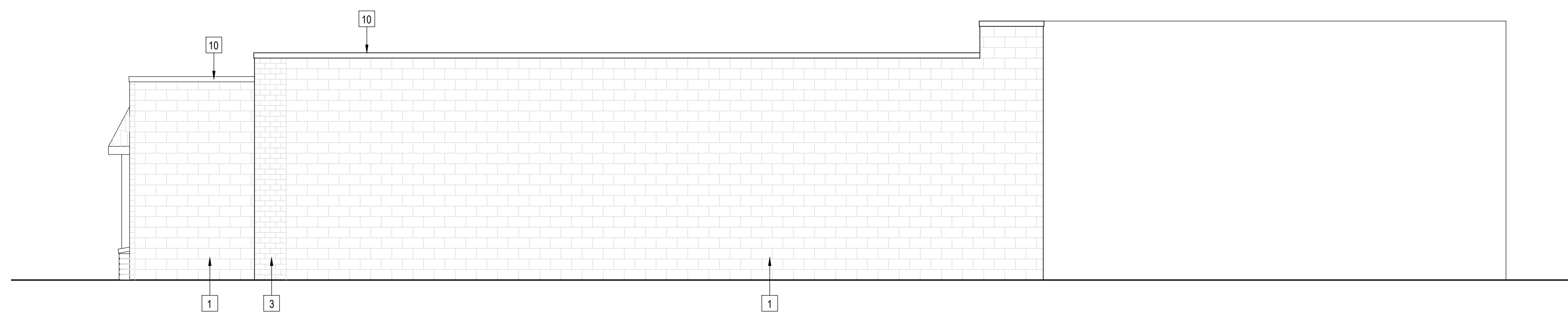


- ELEVATION KEYED NOTES:**
1. PAINTED CMU
 2. PAINTED BRICK
 3. BRICK
 4. O.H DOOR
 5. H.M DOOR
 6. INSUL. GLASS SET IN WOOD FRAME WINDOW
 7. DECORATIVE TEMPERED GLASS AND WOOD DOOR
 8. BRICK SILL
 9. WALL MOUNTED LIGHT FIXTURE
 10. PRE-FIN. METAL COPING.
 11. WOOD SHINGLES
 12. SOLDIER COURSE BLOCK
 13. STEEL BOLLARD

1 EXISTING SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"



2 EXISTING WEST ELEVATION
 SCALE: 3/16" = 1'-0"



3 EXISTING EAST ELEVATION
 SCALE: 3/16" = 1'-0"



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1	SITE PLAN REVIEW	04/02/2026

ISSUE DATE: 04-09-26

DB RA

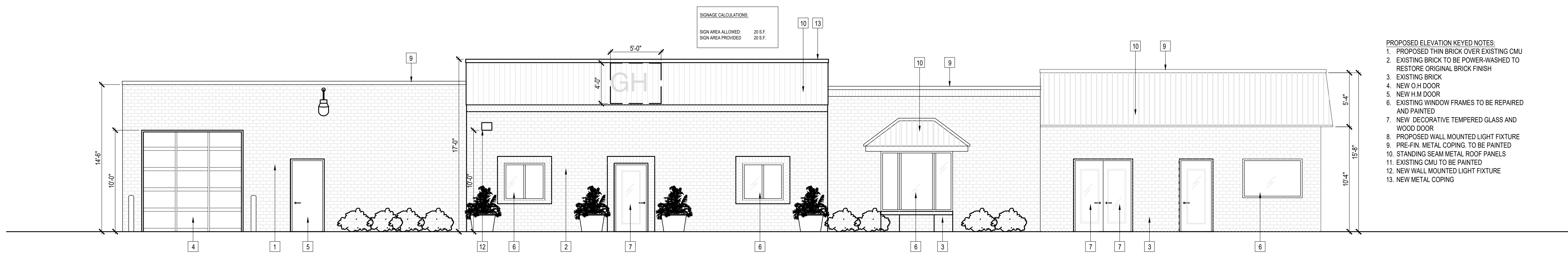
CB PD

SHEET

A200

PROJECT NO. 26-1212

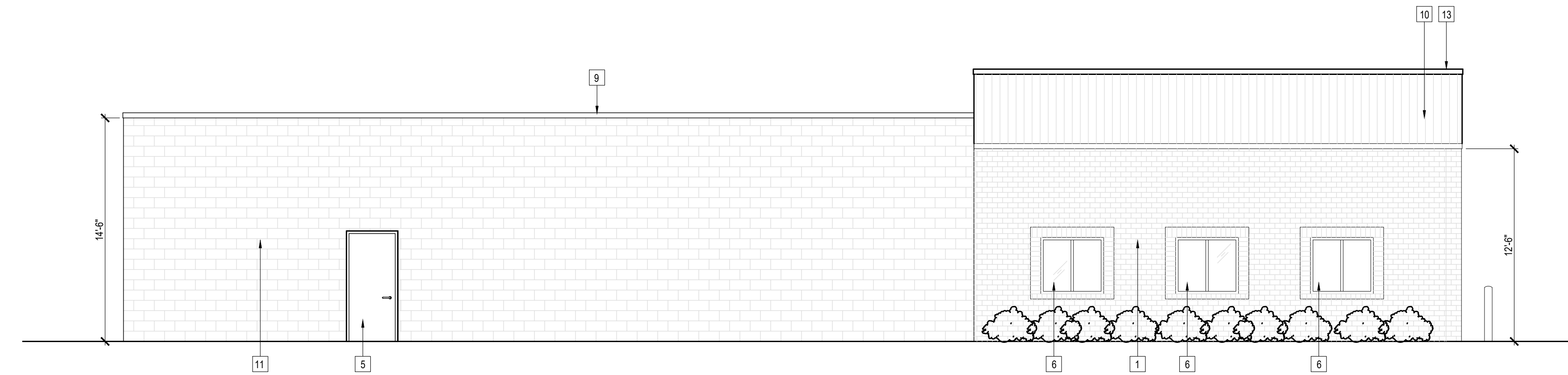
EXISTING ELEVATIONS



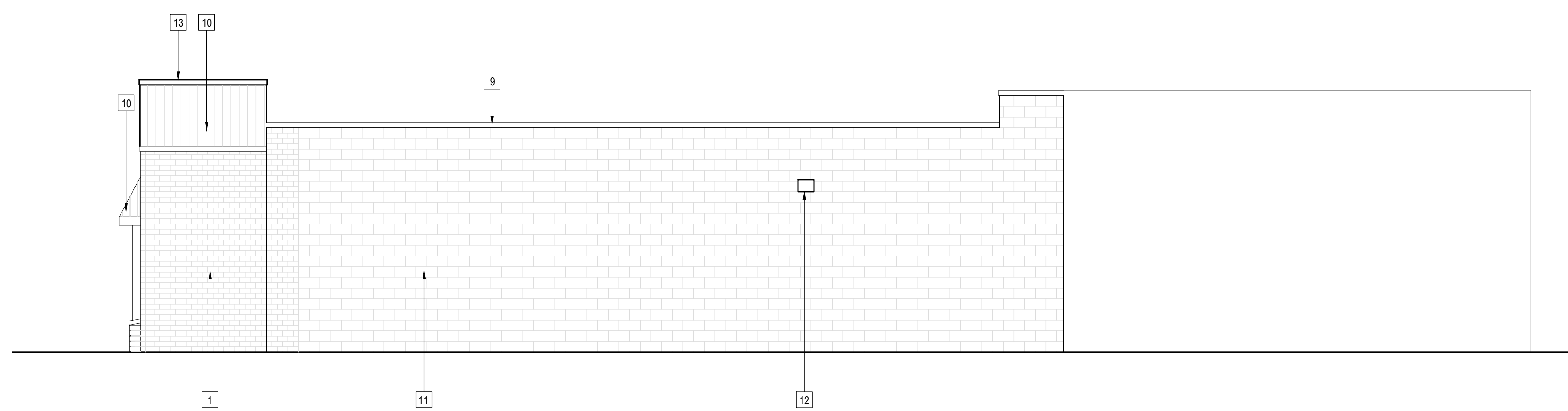
SIGNAGE CALCULATIONS:
 SIGN AREA ALLOWED: 20 S.F.
 SIGN AREA PROVIDED: 20 S.F.

- PROPOSED ELEVATION KEYED NOTES:**
1. PROPOSED THIN BRICK OVER EXISTING CMU
 2. EXISTING BRICK TO BE POWER-WASHED TO RESTORE ORIGINAL BRICK FINISH
 3. EXISTING BRICK
 4. NEW O.H. DOOR
 5. NEW H.M. DOOR
 6. EXISTING WINDOW FRAMES TO BE REPAIRED AND PAINTED
 7. NEW DECORATIVE TEMPERED GLASS AND WOOD DOOR
 8. PROPOSED WALL MOUNTED LIGHT FIXTURE
 9. PRE-FIN. METAL COPING. TO BE PAINTED
 10. STANDING SEAM METAL ROOF PANELS
 11. EXISTING CMU TO BE PAINTED
 12. NEW WALL MOUNTED LIGHT FIXTURE
 13. NEW METAL COPING

1 PROPOSED SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"



2 PROPOSED WEST ELEVATION
 SCALE: 3/16" = 1'-0"



3 PROPOSED EAST ELEVATION
 SCALE: 3/16" = 1'-0"



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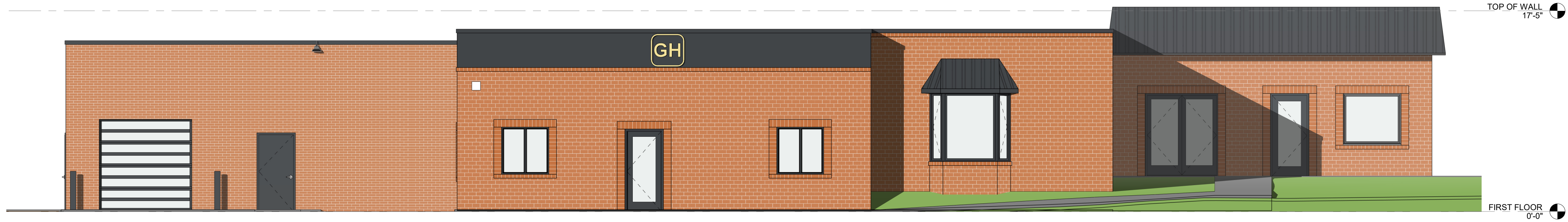
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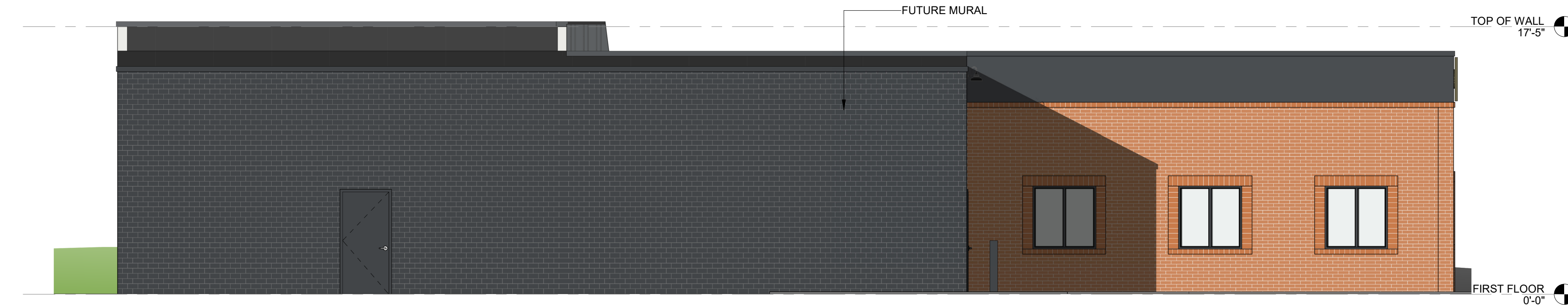
SHEET: A201

PROJECT NO.: 26-1212

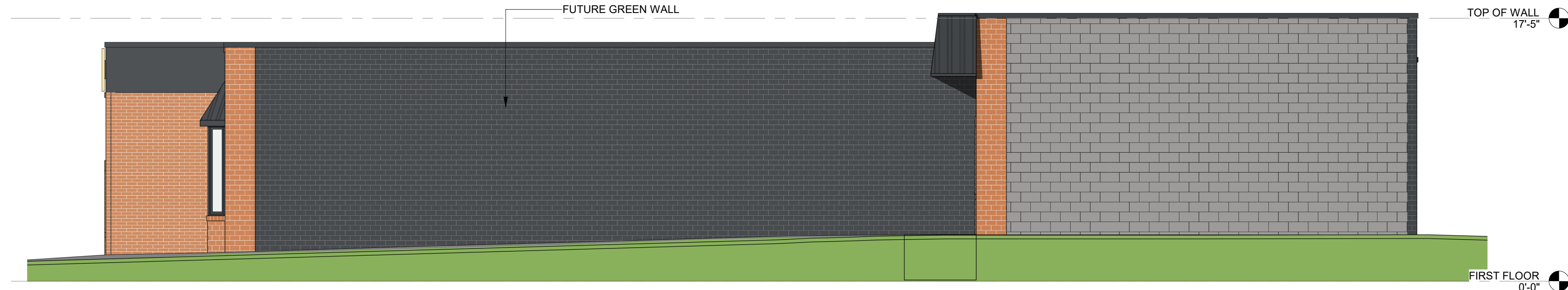
PROPOSED ELEVATIONS



1 South Elevation
A202 3/16" = 1'-0"



3 West Elevation
A202 3/16" = 1'-0"



2 East Elevation
A202 3/16" = 1'-0"



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CB PD

SHEET

A202

PROJECT NO. 26-1212

EXTERIOR ELEVATIONS



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NO.	DESCRIPTION	DATE
1	SITE PLAN REVIEW	04/08/2026

ISSUE DATE: 04 - 08 - 26

DB _____ RA _____

CB _____ PD _____

SHEET _____

A204

PROJECT NO. 26-1212

RENDERS



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- CONSTRUCTION
- OTHER:

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1	SITE PLAN REVIEW	04/08/2026

ISSUE DATE: 04 - 08 - 26

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CB _____ PD _____

SHEET

A205

PROJECT NO. 26-1212

RENDERS



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ISSUE DATE: 04 - 08 - 26

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SHEET

A206

PROJECT NO. 26-1212

OPTIONAL RENDERERS



MCKENNA

April 28, 2026

Planning Commission
City of Rochester
400 Sixth Street
Rochester, MI 48307

Subject: **Miller and Parkdale Regulator Station//824 Miller; Preliminary Plan Review #2**; Site Plan dated April 9, 2026.

Dear Commissioners:

At the City’s request we have reviewed a proposal submitted by Amy Gilpin on behalf of Consumers Energy to reconstruct an existing natural gas regulator station. Preliminary Review #1 was completed on March 27, 2026, based on site plans dated March 2026. During the April 6, 2026 Planning Commission meeting, the review was discussed and approved to be scheduled for a public hearing. Due to public hearing advertising complications, as required by Michigan Zoning Enabling Act, the public hearing must be postponed. This letter provides our review of the updated site plans submitted on April 9, 2026, as well as the additional letter submitted by Douglas A Scott from Rowe Engineering in response to Preliminary Review #1.

The subject site is located on the east side of Miller Street within the R-1 One-Family Residential Zoning District. The site is currently occupied by the existing regulator station- including an existing building, piping, gravel driveway, and gas equipment. The applicant proposes to remove all existing improvements and construct a new 280 sq. ft (14’ x 20’) steel building, a new driveway with parking, installation of an 8’ tall concrete panel wall on 3 sides and an ornamental fence on the street side.

This second preliminary review is to ensure adequate information has been submitted for the plan to be forwarded to Planning Commission to set a date for the hearing and does not constitute a complete site plan review.

REVIEW COMMENTS

1. Use Interpretation. Article 3, Section 300 (5) of the Zoning Ordinance states, “Essential services shall be permitted as authorized and regulated by law and other ordinances of the municipality, it being the intention hereof to exempt such essential services [from] the application of this ordinance. See the definition of Essential services.”

A review of the definition of essential services in Section 3902 specifies that the exemption is not applicable to any utility that involves the construction or erection of buildings or any structures over 4 feet in height. Therefore, the proposed regulator station is not considered an essential service and is not exempt from the provisions of the Ordinance. Section 2108. Public utilities and facilities notes that any public utility which is not an ‘essential service’ can be allowed in any zoning district as a special exception. Therefore, the application will require site plan and special exception approval from the Planning Commission.

2. Dimensional Standards. The proposed plans comply with the dimensional standards for the R-1 district. The proposed setbacks comply with the standards set out by §2000 of the Zoning Ordinance. The proposed heater is placed within the rear yard setback. However, based on the Ordinance’s definition of a yard, the heater may be considered a “customary yard accessory or ornament,”

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specifically for the proposed land use, a regulator station. Given the position of the heater in the rear yard (as opposed to the front), its compliance with height and side yard standards for the R-1 district, and the presence of a gravel access drive the length of the site, the position of the heater does not pose a safety concern based on its position.

The plans have been updated to indicate the height of the proposed remote telemetry unit, which has an average height of 6' with the light fixture extending to 9'. This complies with the district height limitation of 15'.

3. **Façade.** A 14' x 20' structure is proposed on the site. The plans have been updated to indicate the structure's façade will be Nichiha Vintage Brick in the color white wash to be more consistent with the character of the surrounding neighborhood. The plans indicate that this structure is approximately 10'6" in height, which complies with the dimensional standards for the R-1 District.
4. **Fence and Screening.** The plans propose an 8' tall ornamental fence along the front of the parcel with an 8' tall concrete wall along the three remaining sides. Per §2125 (2)(a), the maximum permitted height of a fence on a residentially zoned parcel is 6 feet. Given their proposed height, the wall and fence will require a variance to be granted by the Zoning Board of Appeals. The location of the front fence is also within the setback, which will require a variance as §2125(2)(d) specifies that, "No fence over 18 inches in height shall be constructed nearer to the street than the front building lines as established by the zoning ordinance," unless it is on a corner parcel. The design of the ornamental fence as shown is otherwise compliant with the fence design specifications of the ordinance.

Per §2804, the wall fulfills the requirement for a screening wall between the residential and non-residential uses. However, the Planning Commission must officially approve the use of the concrete wall design indicated on sheet C-2529-SAD 09 of the plans, as masonry is required by the ordinance. This design has been updated to comply with the request for a more aesthetic design and would comply with the allowable substitutions outlined in §2804(e)(5) of the ordinance as a "manmade feature that would produce substantially equivalent results of screening, and durability."

5. **Landscaping.** The landscaping indicated on sheet C-2529-PMT 06 of the plans complies with the landscaping requirements of §2800 of the Ordinance. The landscaping will be fulfilled by a mixture of drought resistant species. Irrigation will not be provided. However, the applicant has indicated that the landscaping contractor will water the plantings for two years or until they are established. Regular maintenance and replacement of the plantings should be identified and carried out by the property owner as needed to ensure the site's consistent appearance.
6. **Signage.** Proposed, "No Trespassing/Danger" signs are compliant with signage standards. Any additional proposed signage will require an administrative review and approval from City Planning Staff.
7. **Access and Circulation.** Gates are proposed at the front and south side of the site. The front gate will allow primary access to the site, while the 3' wide gate at the side will be used only in case of an emergency. The side gate will be able to open entirely within the property line.

A concrete driveway is proposed leading from the front gate to the roadway. Beyond the gate the drive will be gravel, sufficient to meet the needs of the periodic use by maintenance vehicles. The remainder of the site will also be gravel, consistent with the cross section provided on sheet C-2529-SAD 09.

The existing sidewalk will be maintained in front of the parcel (within the ROW), but no public pedestrian access will be granted within the site given the nature of the site.



8. **Parking.** One parking space is provided beyond the front gate. This off-street parking space is sufficient to comply with the requirements of the Ordinance and the needs of the site.
9. **Lighting.** The plan proposes a light fixture on the front and rear sides of the building to be operated with a switch. The updated plans provide additional details for the lighting fixtures, indicating that they will be downward facing and equipped with shields to prevent the bulbs from being visible from the sides, making the proposed fixtures compliant with the Ordinance.

RECOMMENDATION

Subject to the items listed in underlined comments above being addressed, we recommend that the Planning Commission re-schedule the project for consideration of site plan and special exception approval on the next available agenda.

If you have any questions regarding this application and review, please do not hesitate to contact us.

Respectfully,
McKENNA

Lori Morgan, AICP
Senior Planner

Cc: Jeremy Peckens
Nik Banda
Jeff Kragt
Rose McKinney



April 9, 2026

Mr. Jeremy Peckens, MPA
City of Rochester – Planning and Zoning
400 Sixth Street
Rochester, MI 48307

RE: Revised Submittal – Miller and Parkdale Regulation Station – 824 Miller Avenue

Dear Mr. Peckens:

We are in receipt of the McKenna review letter dated March 27, 2026, which provided several questions regarding the above referenced site plan. We have revised the plans based upon the questions listed and the comments received at the April 6, 2026, planning commission meeting. Following is a summary of the changes to the sound study:

1. The height of the heater, remote telemetry unit, and the filter/separator are all listed on plan sheet C-2529-PMT-04 and -05. We have also attached cut sheets from the heater and filter/separator for the use of the planning commission.
2. Additional details have been provided to explain the difference between the driveway material and the crushed limestone surface/weed barrier. Please refer to the detail sheets for the actual cross section.
3. Additional information regarding the type of vehicles that will visit the site has been provided on the site plan drawings.
4. The proposed three-foot man gate is actually three feet off the property line to allow it to be opened fully within the property. Please note that this gate will only be used in emergent situations.
5. Additional information regarding the light fixtures has been added to the plans. Consumers Energy must utilize explosion proof fixtures on this site per the Michigan Public Service Commission requirements. The fixtures on the building will be equipped with a vertical shield that will be inserted within the fixture to prevent the bulb from being visible on the sides. All light will be downward directed. Please note that the lights are switch operated and will only be utilized when work is being conducted onsite.
6. The landscaping proposed for the site consists of drought resistant plant materials. The contractor will be required to water the plant materials for two years or until it becomes established.
7. The driveway outside the fence has been changed to concrete.
8. The fence details have been updated to reflect the actual materials proposed. The proposed colors and details have been discussed with the adjacent property owners.
9. The proposed building materials have been modified to include a full height brick façade.

SINCE 1962

Mr. Jeremy Peckens, MPA
April 9, 2026
Page 2

In accordance with your request, we are providing five paper copies and one electronic copy of the revised documents. A check for \$500 has been shipped via UPS to arrive on Friday. Please schedule us for the next available planning commission meeting. If you have any questions or require additional information, please feel free to contact our corporate office at (810) 869-5111 or at dscott@rowepsc.com.

Sincerely,
ROWE Professional Services Company

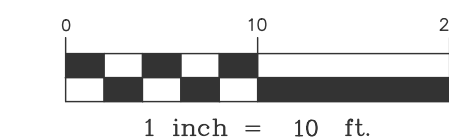
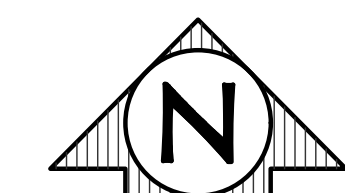


Douglas A. Scott, P.E. *At 4/9/26*
Senior Project Manager

Attachments

1. Plans
2. Cut Sheets

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LEGEND

- FOUND SURVEY MARKER
- △ SURVEY TRAVERSE POINT
- ⊙ BOLLARD
- EXISTING POLE
- ◆ SECTION CORNER
- TELEPHONE RISER
- ⊞ ELECTRICAL METER
- ← GUY ANCHOR
- ⊞ GAS VALVE
- SIGN
- BUSH
- DECIDUOUS TREE
- ▨ EXISTING PAVEMENT
- ▨ EXISTING CONCRETE
- ▨ EXISTING PAVERS
- ▨ REMOVE EXISTING GRAVEL
- PROPERTY LINE
- - - RIGHT OF WAY
- - - STORM SEWER
- - - CENTERLINE OF ROAD
- - - FENCE
- Tele - Tele - OVERHEAD TELEPHONE
- Dist - Dist - OVERHEAD DISTRIBUTION
- Serv - Serv - OVERHEAD SERVICE LINE
- GAS - UG GAS PIPELINE
- San - UG SANITARY SEWER
- - - TOP OF SLOPE
- - - TOE OF SLOPE
- ~ ~ ~ TREE / BRUSH LINE
- ⊞ ELECTRICAL BOX
- TREE



SEC. 11
CITY OF ROCHESTER

T03, R11
OAKLAND COUNTY

LOCATION MAP
NOT TO SCALE

BASIS OF BEARING

MICHIGAN STATE PLANE COORDINATE SYSTEM
SOUTH ZONE - NAD83 2011
REFERENCED TO THE MICHIGAN SPATIAL REFERENCE NETWORK
VRS NETWORK SOLUTION
AVG. COMBINED SCALE FACTOR = 0.9998801998
GROUND DISTANCES ARE SHOWN.

BASIS OF ELEVATION

NORTH AMERICAN VERTICAL DATUM OF 1988
(GEOID18)
MICHIGAN SPATIAL REFERENCE NETWORK
VRS SOLUTION
1 FOOT CONTOURS ARE SHOWN

SITE BENCHMARK #1257

TOP OF SOUTHWEST CORNER OF
CONCRETE PORCH
NORTHING: 435206.9
EASTING: 13457501.6

SITE BENCHMARK #4

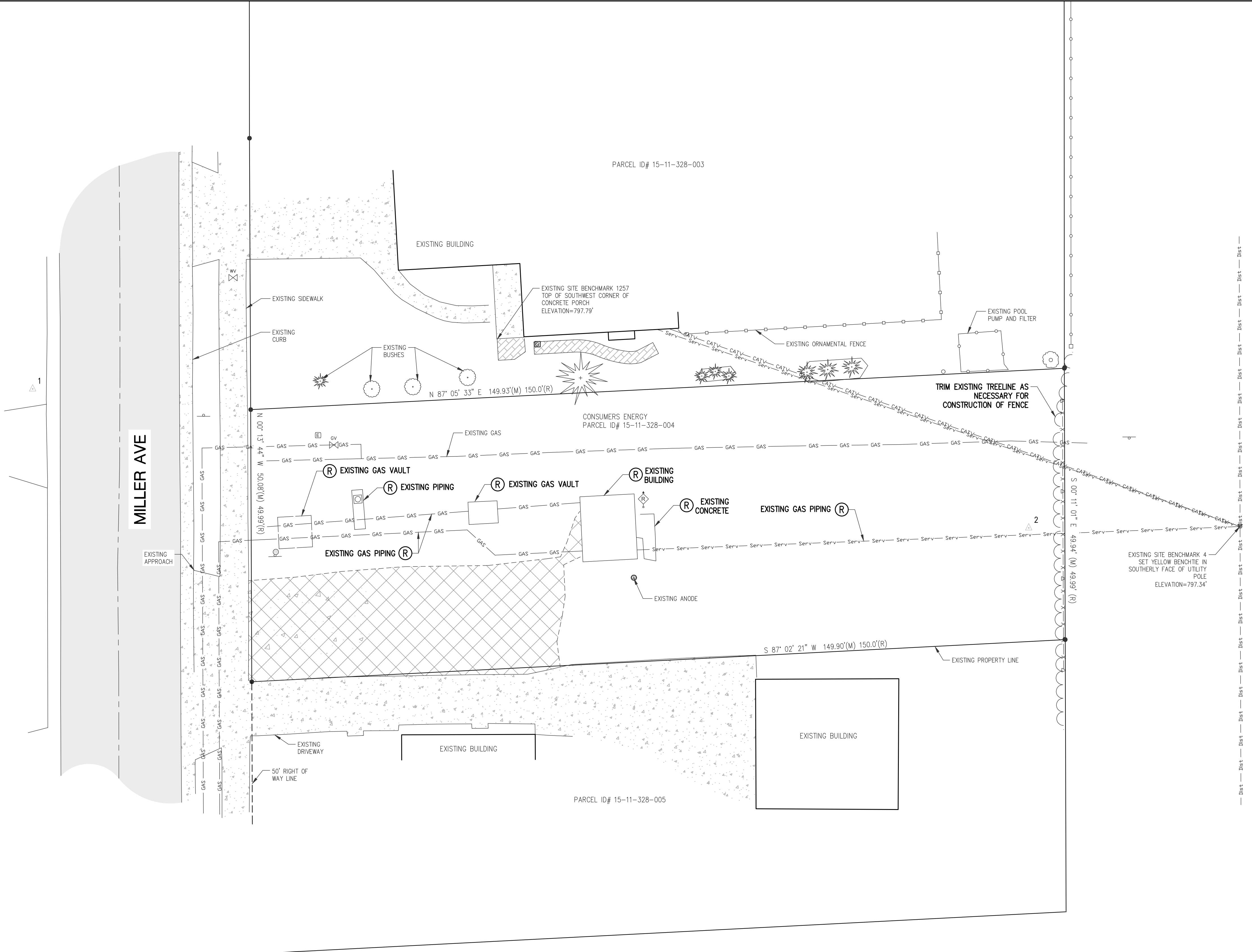
SET YELLOW BENCHMARK IN
SOUTHERLY FACE OF UTILITY POLE
NORTHING: 435171.9
EASTING: 13457638.0

SURVEY CONTROL #1

SET 1/2" BAR AND CAP (CE
CONTROL PT) 2.5' WEST OF WEST
BACK OF CURB & 3.2' NORTH OF
DRIVEWAY TO 4825 MILLER AVE
NORTHING: 435197.62
EASTING: 13457416.17

SURVEY CONTROL #2

SET 1/2" BAR AND CAP (CE
CONTROL PT) 72.2' EAST OF REG
BUILDING & 29.3' SOUTH OF FENCE
TO POOL FILTER
NORTHING: 435172.052
EASTING: 13457599.490

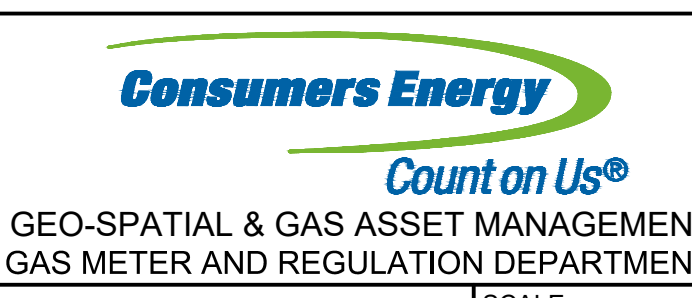


CAUTION
IF INSTALLATION
CANNOT BE COMPLETED
AS DESIGNED
CONTACT PROJECT ENGINEER
BEFORE PROCEEDING

ORIGINAL DRAWING #

REV.	PROJECT ID	DATE	DESCRIPTION	DESIGNER	DESIGNER REV.	DESIGNER APP.	ENGINEER	ENGINEER REV.	ENGINEER APP.	DATE

REFERENCE DRAWINGS NUMBERS	REV.	PROJECT ID	DATE	DESCRIPTION	DESIGNER	DESIGNER REV.	DESIGNER APP.	ENGINEER	ENGINEER REV.	ENGINEER APP.	DATE



GEO-SPATIAL & GAS ASSET MANAGEMENT
GAS METER AND REGULATION DEPARTMENT

**MILLER AND PARKDALE REG STATION
2026 CONSTRUCTION**

EXISTING SURVEY AND REMOVALS

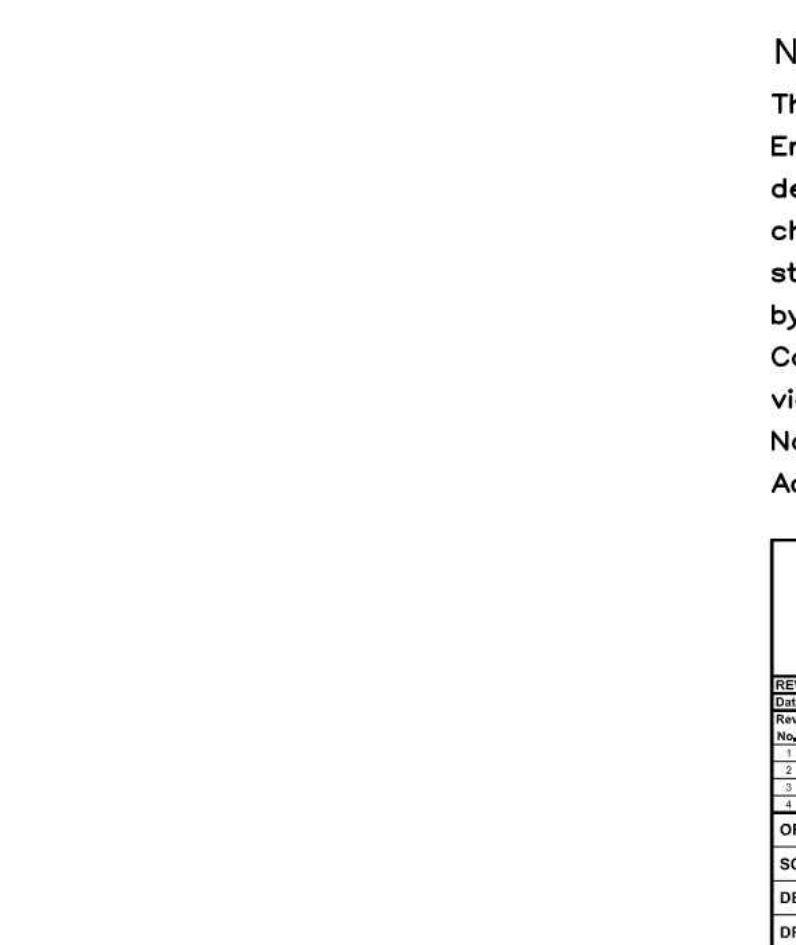
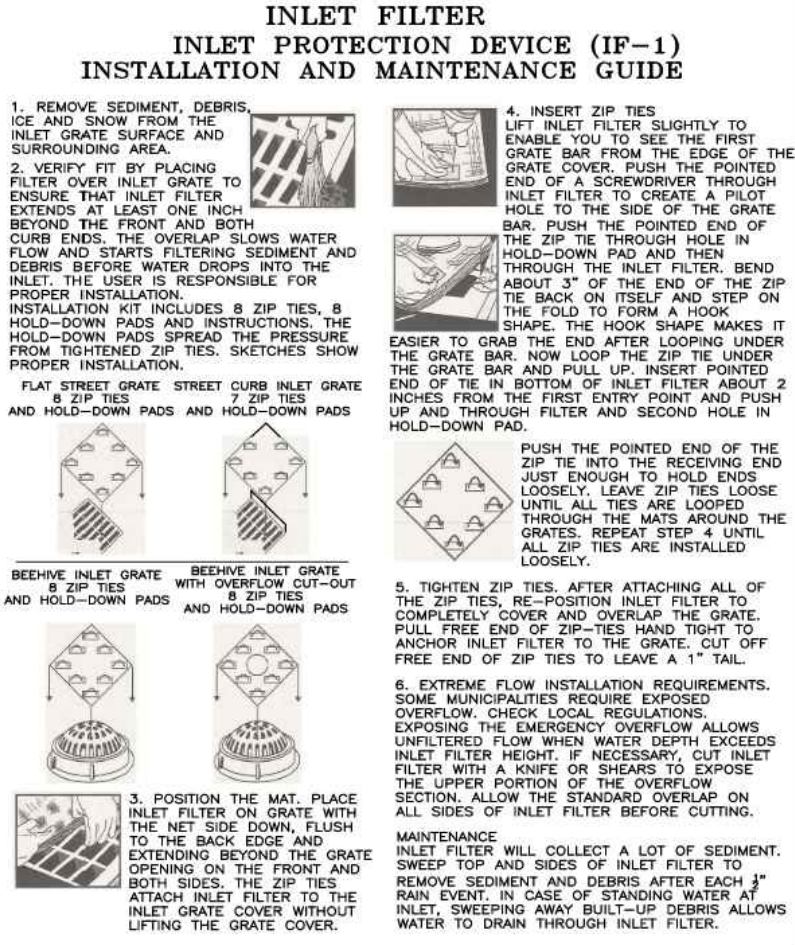
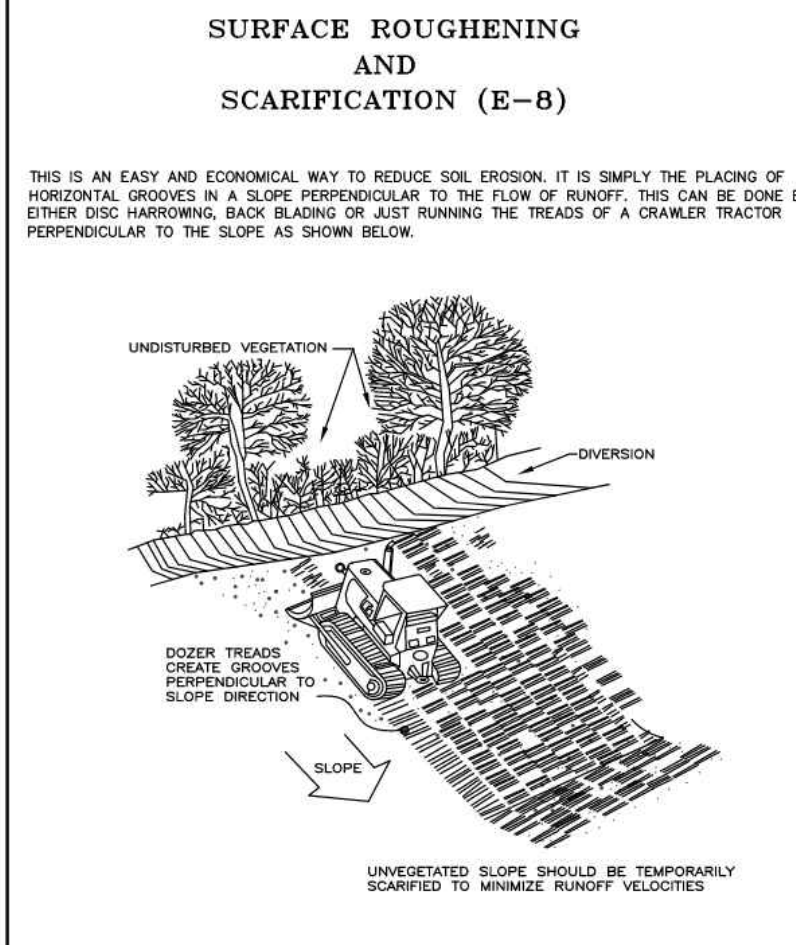
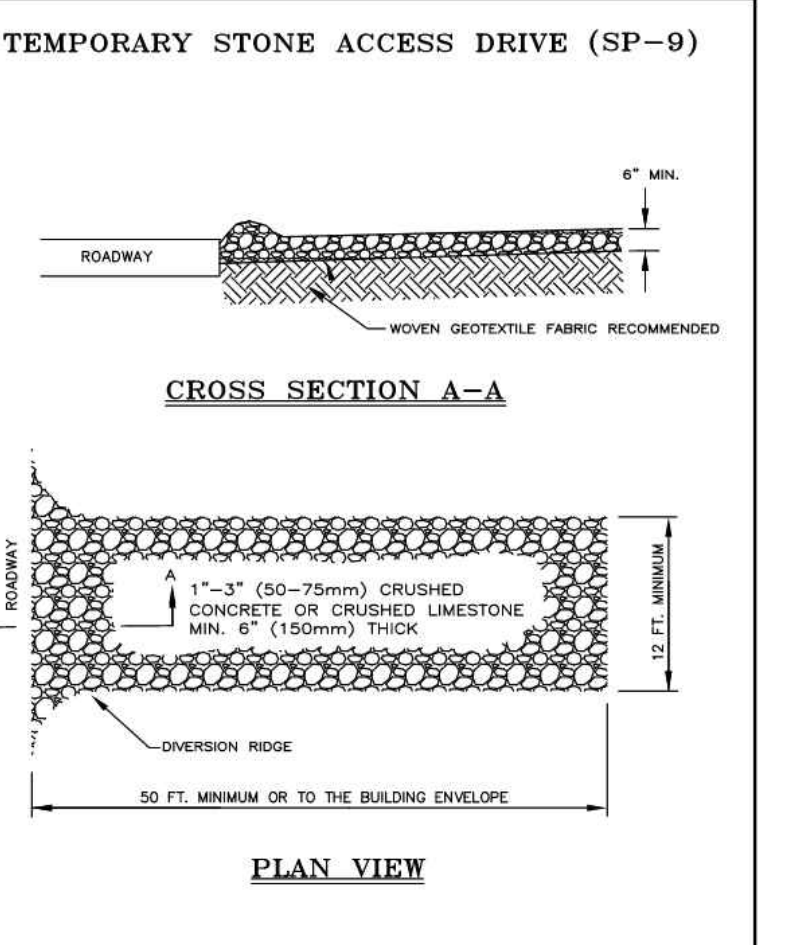
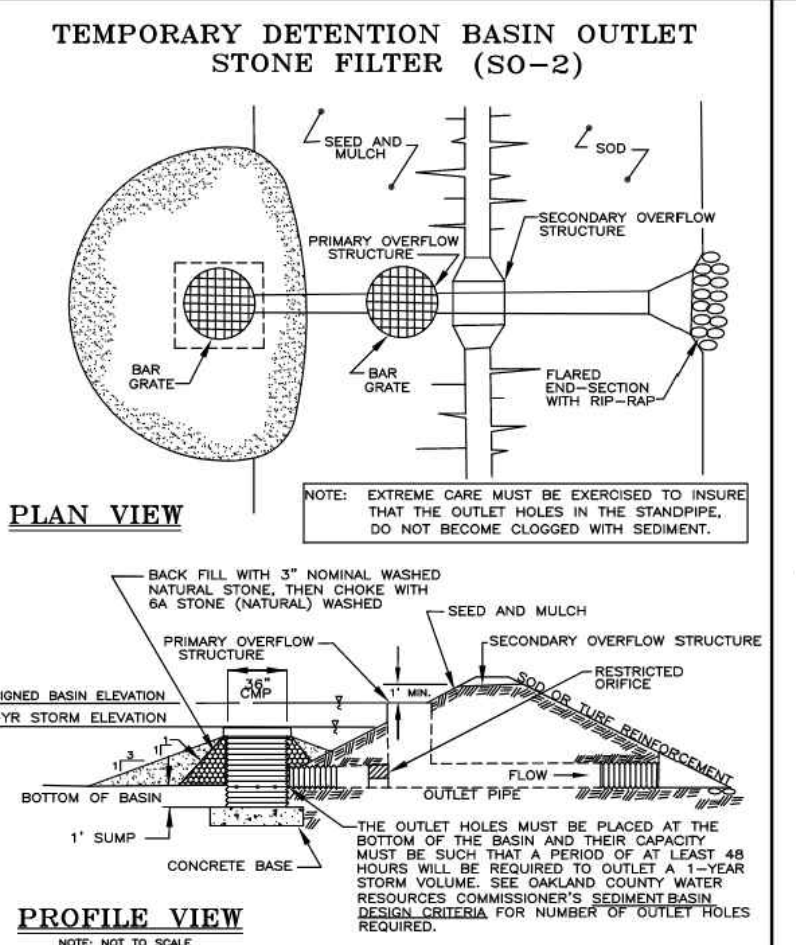
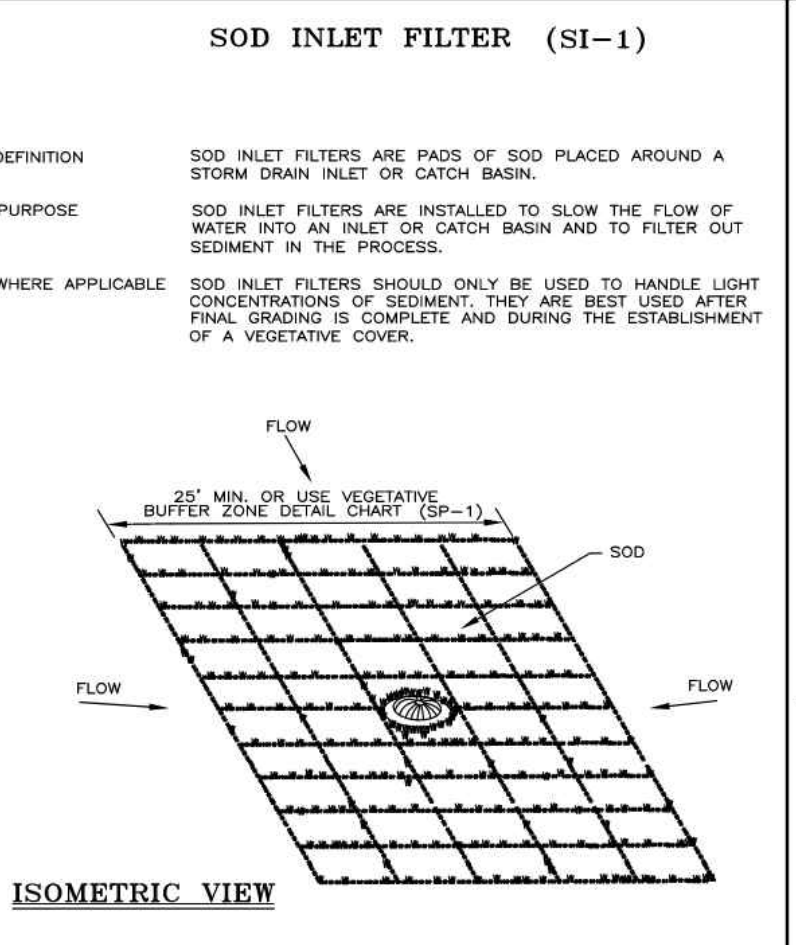
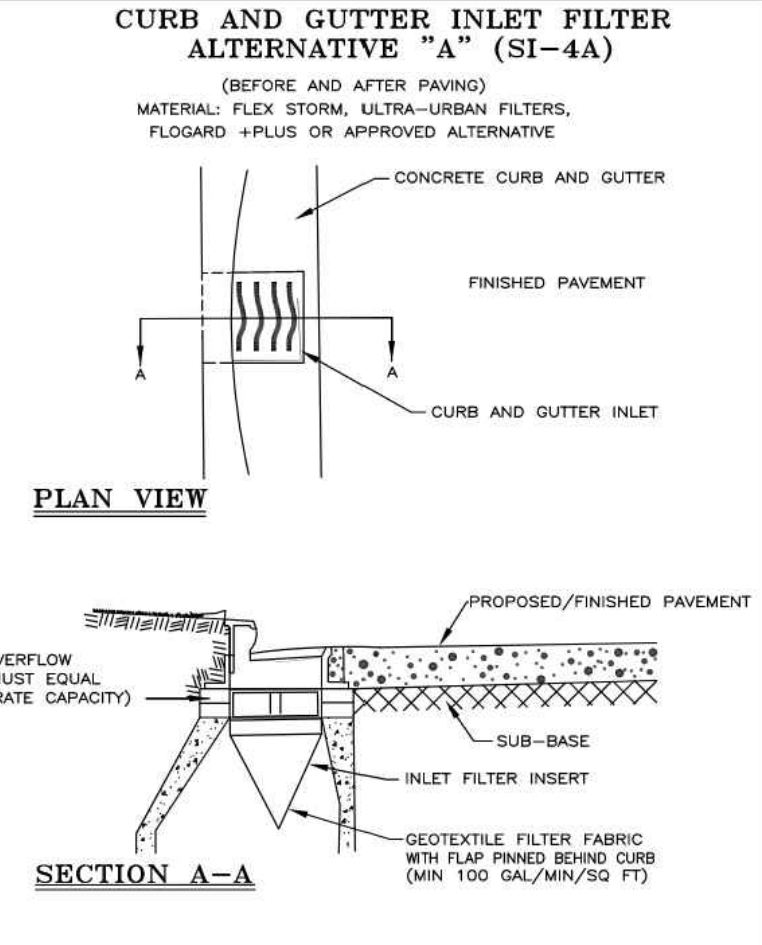
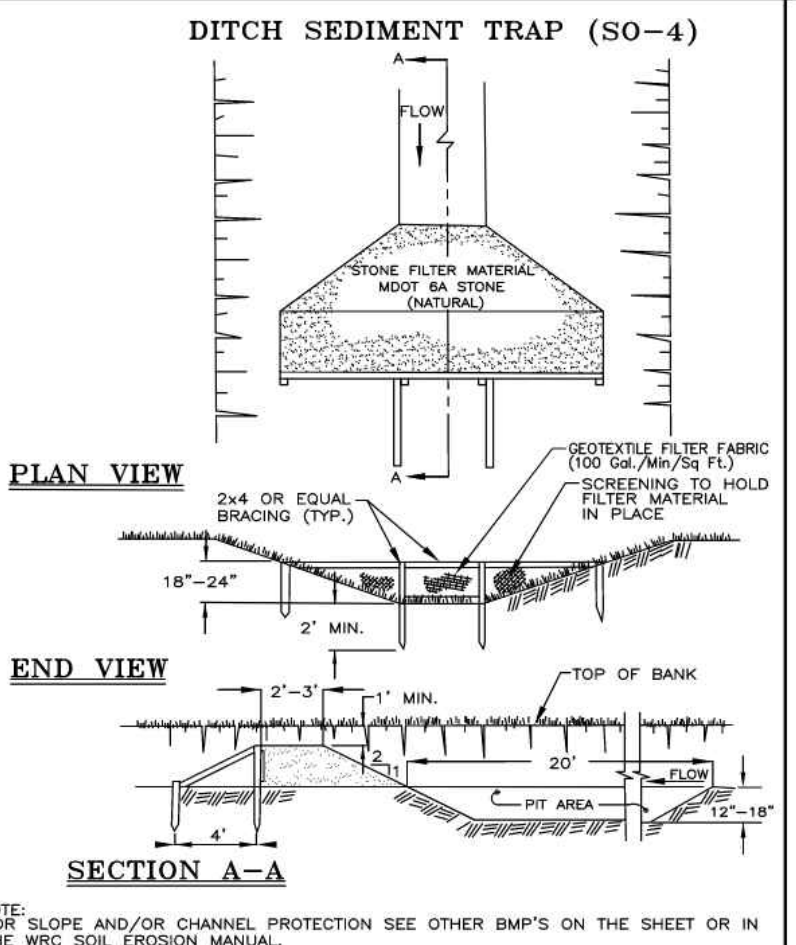
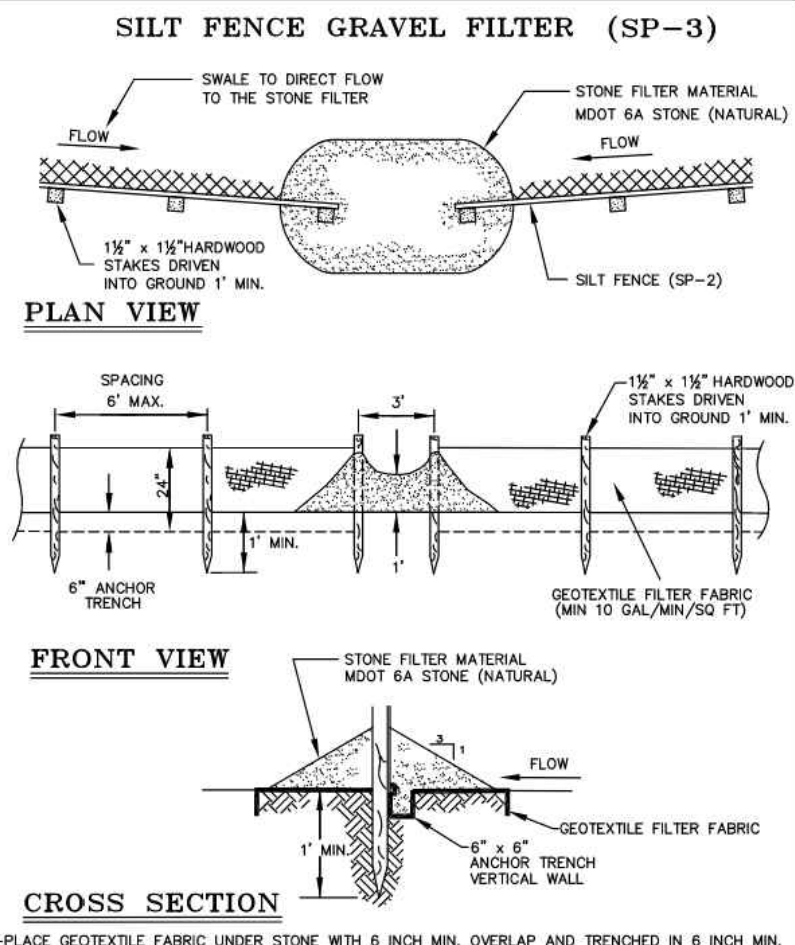
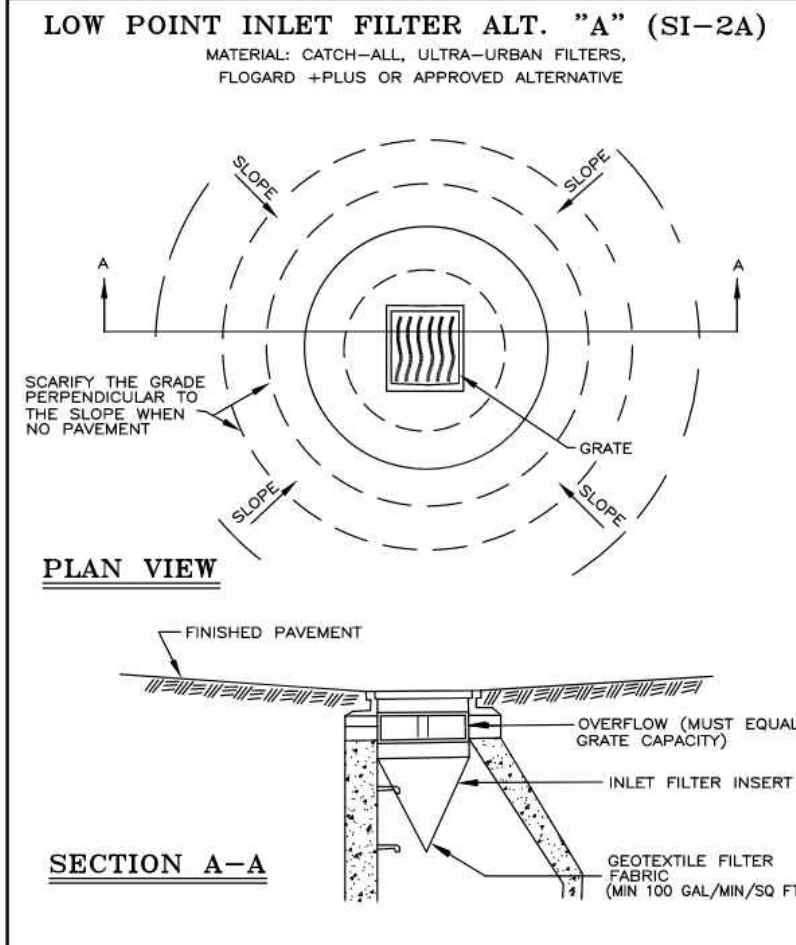
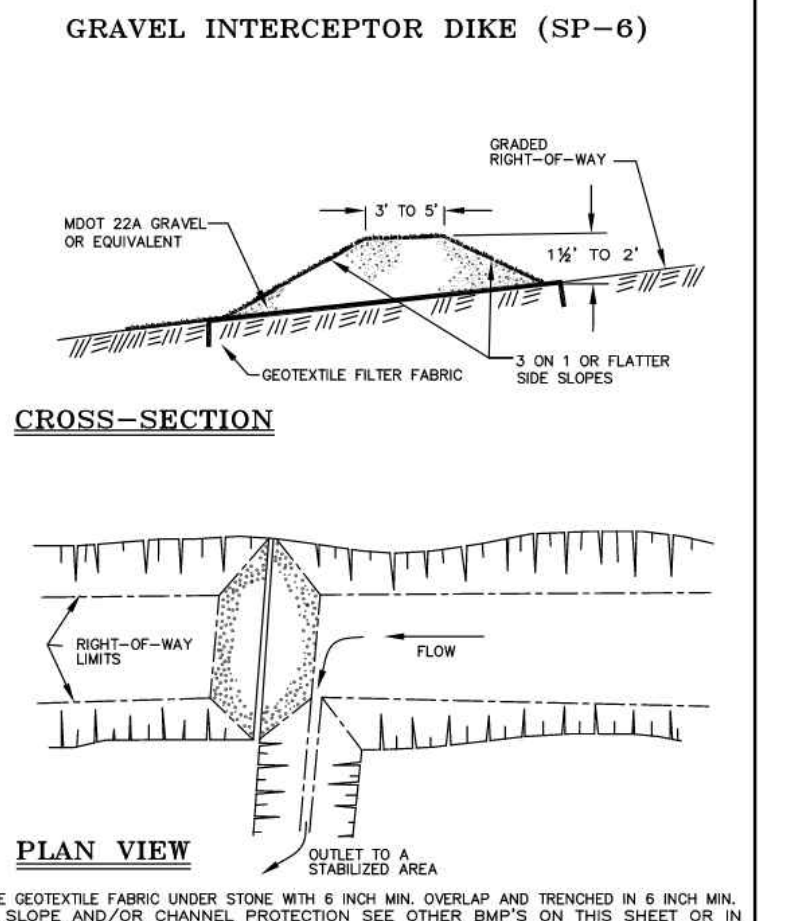
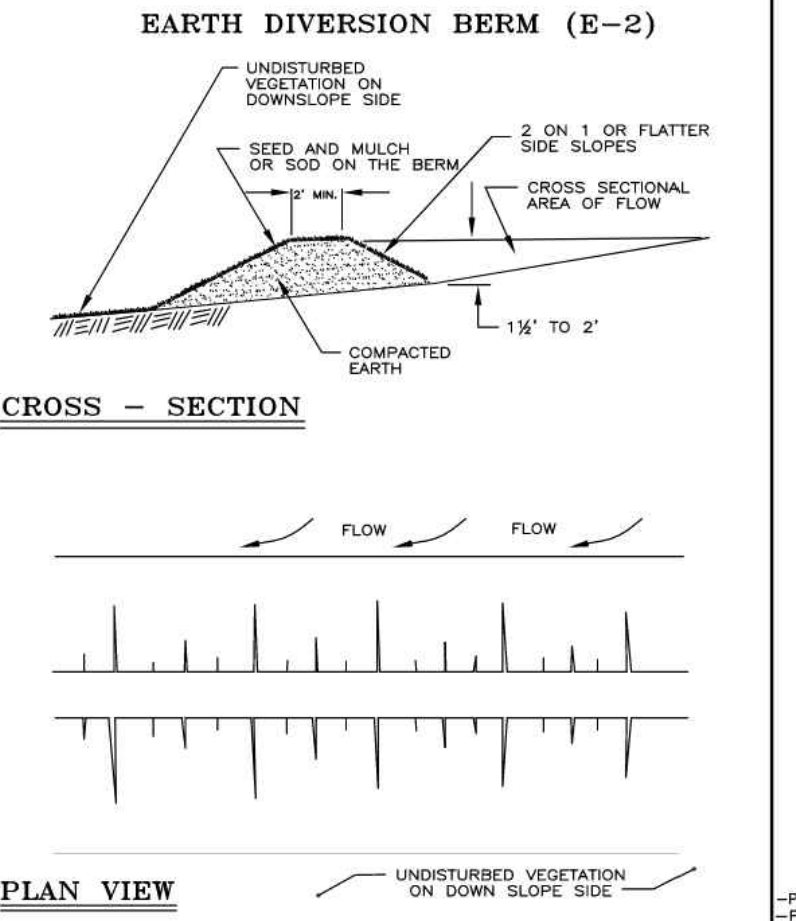
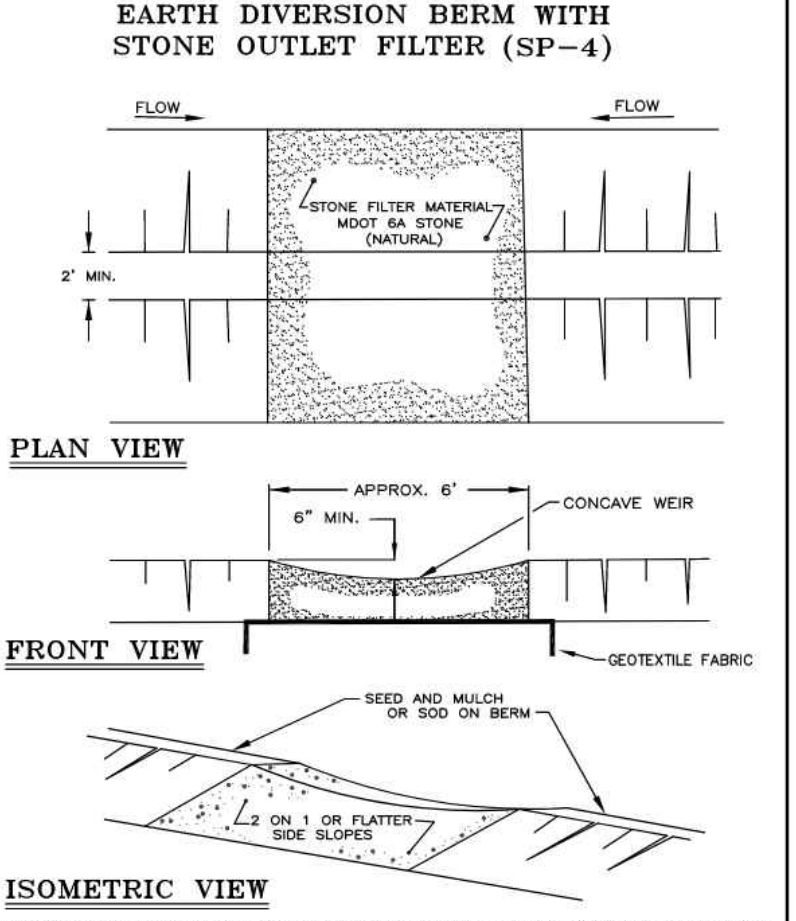
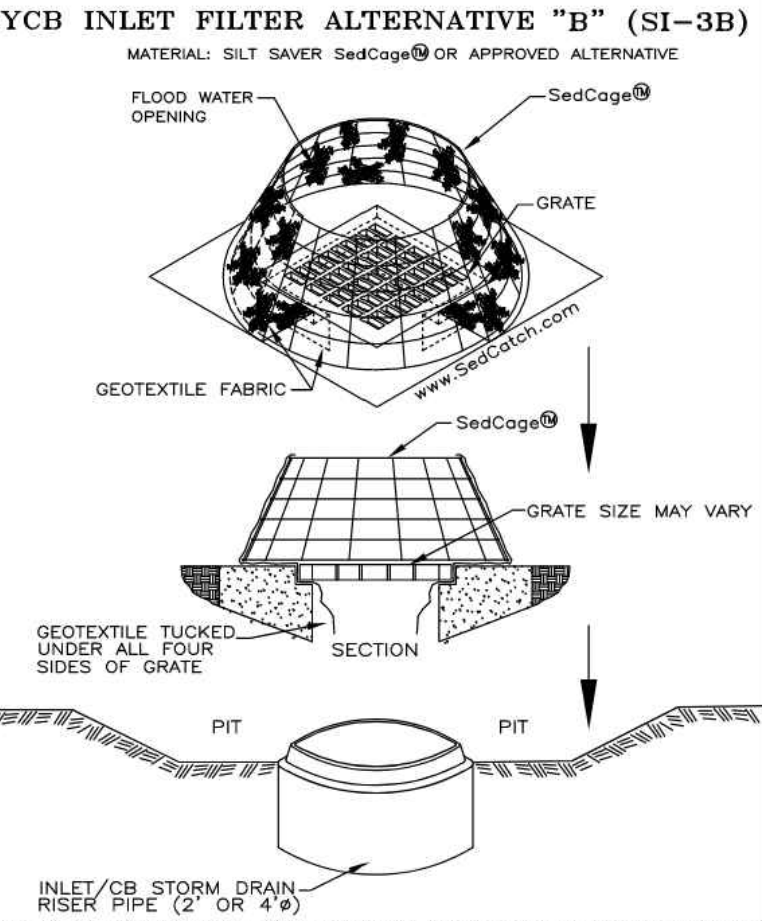
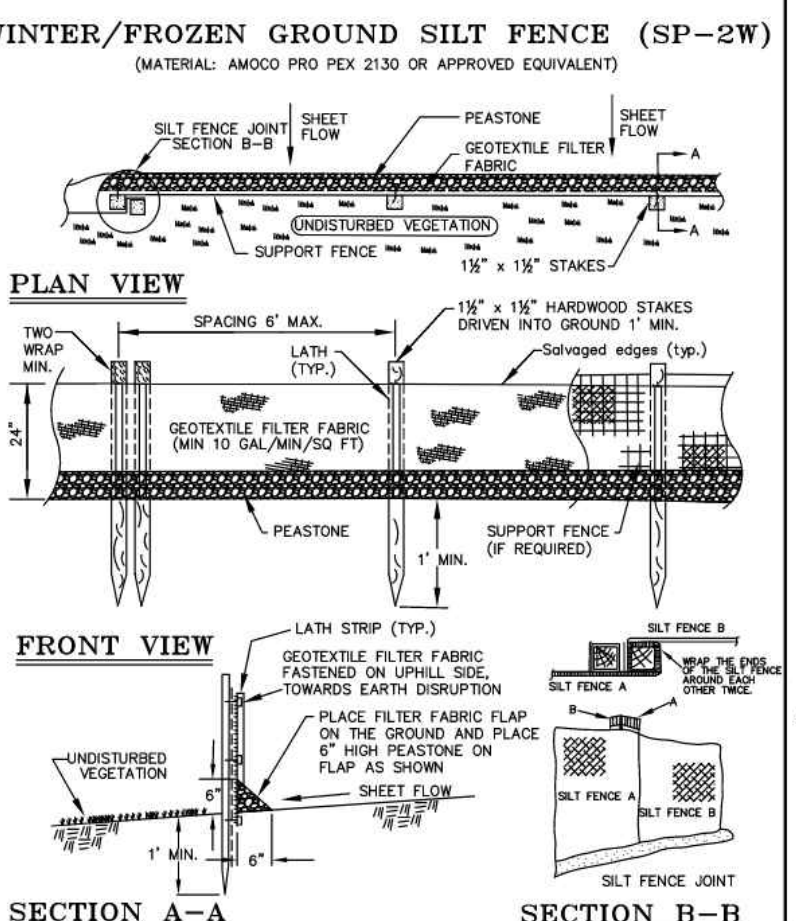
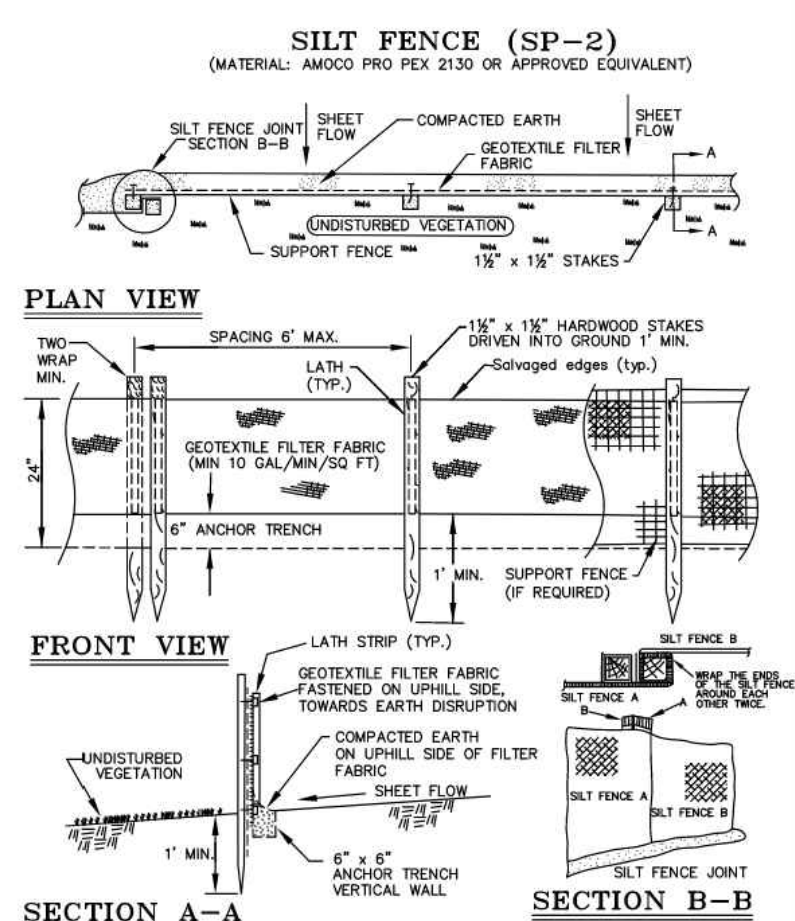
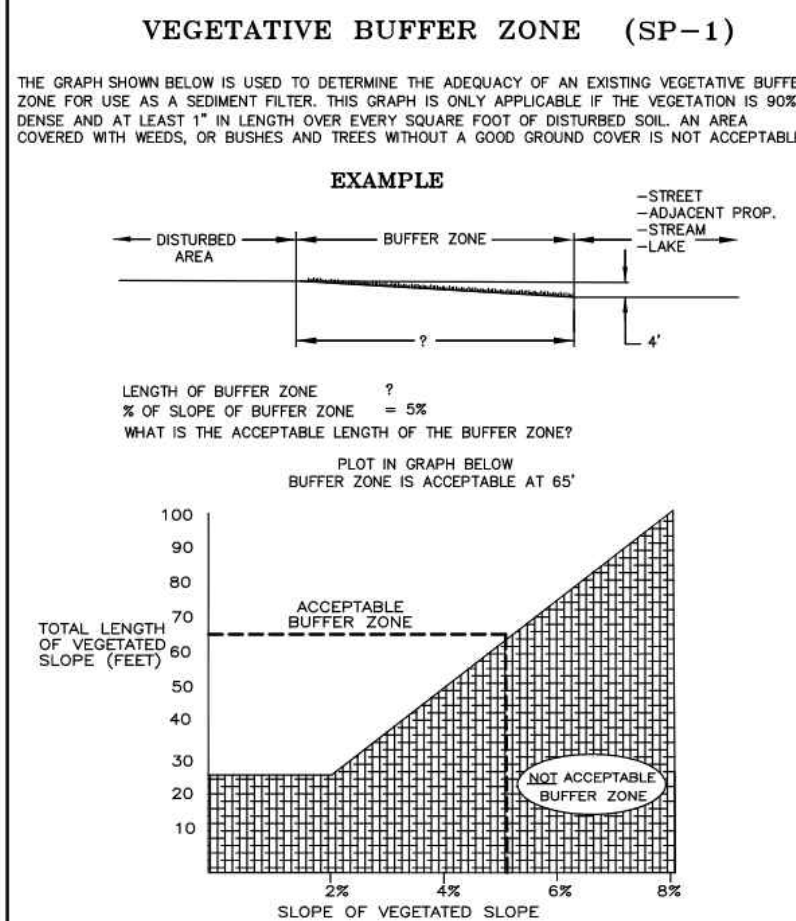
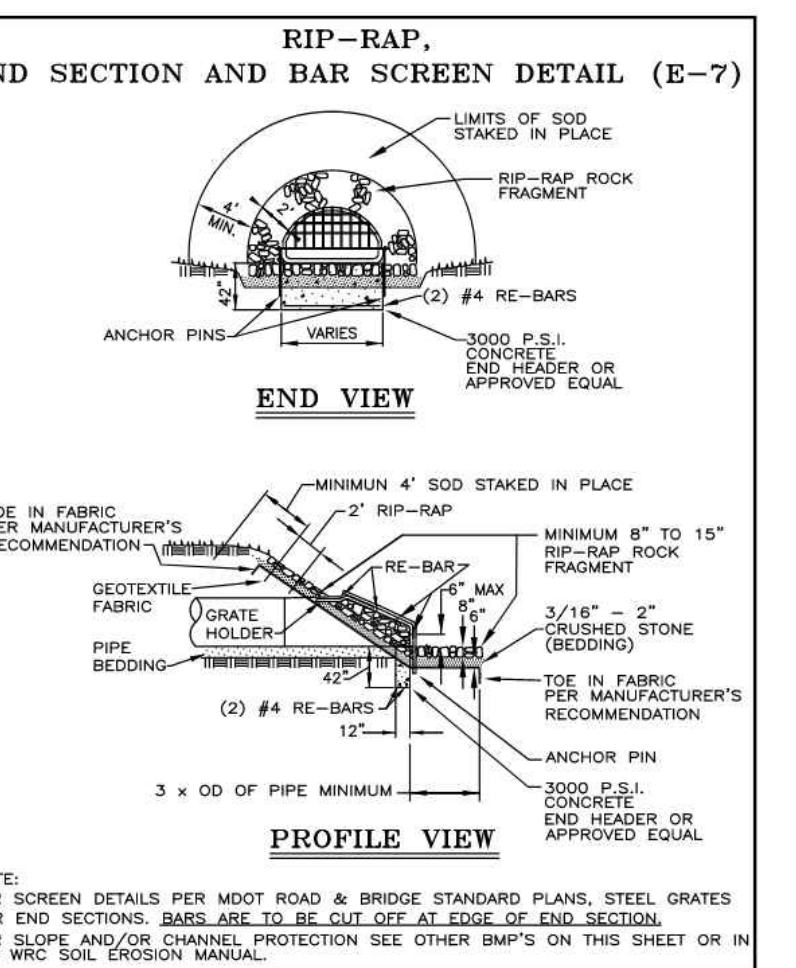
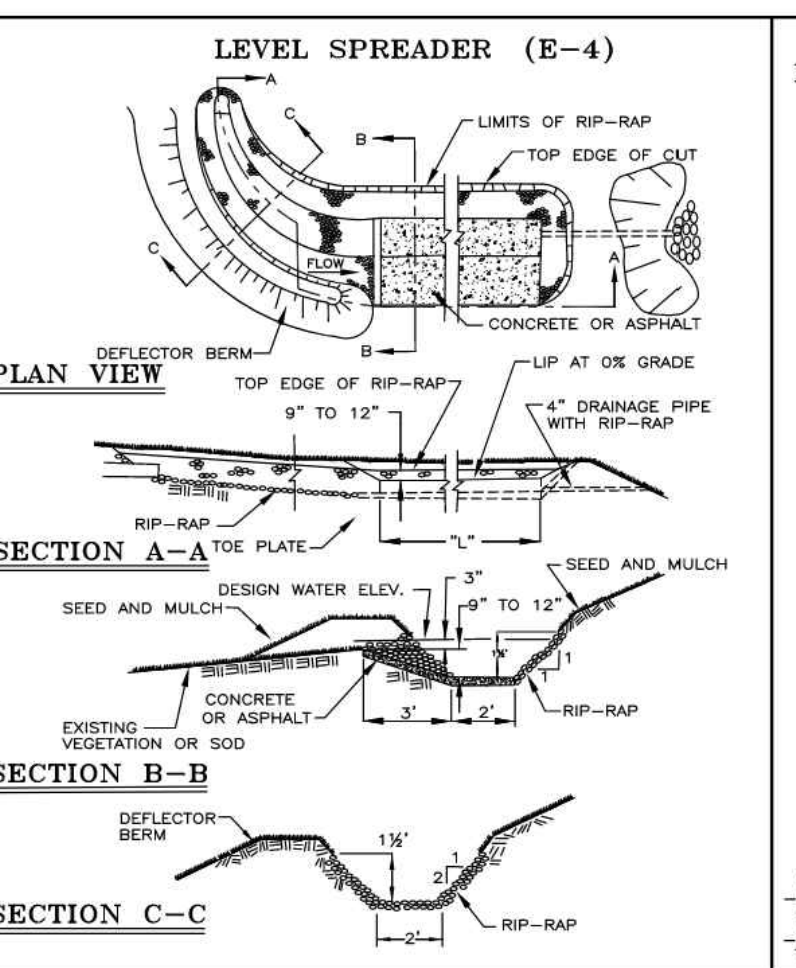
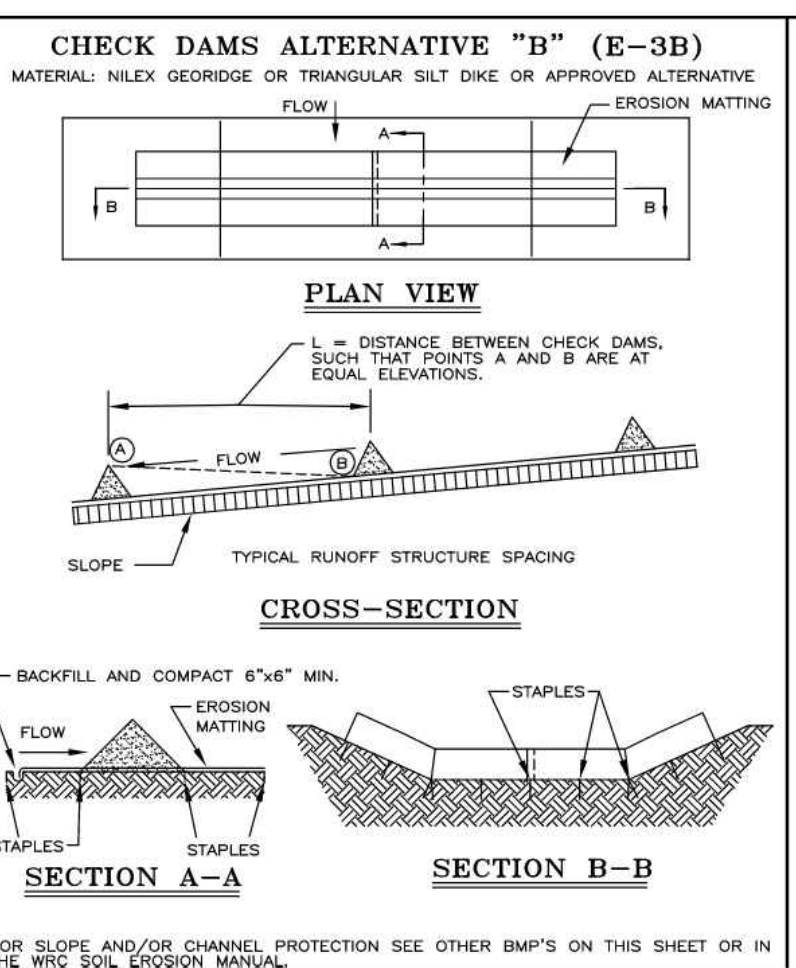
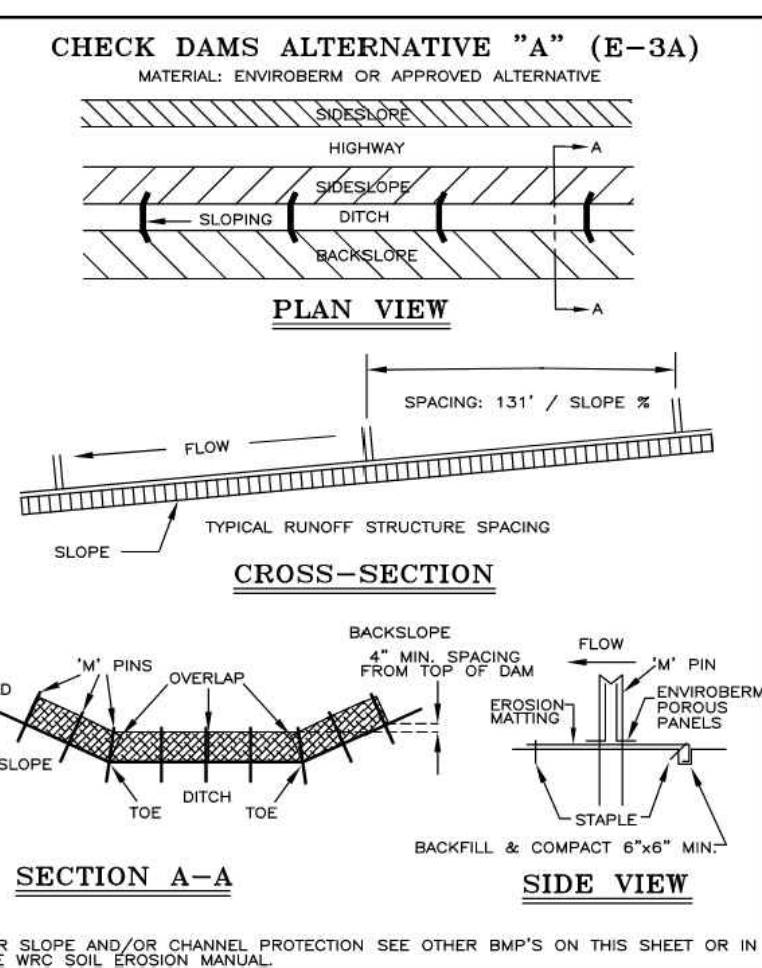
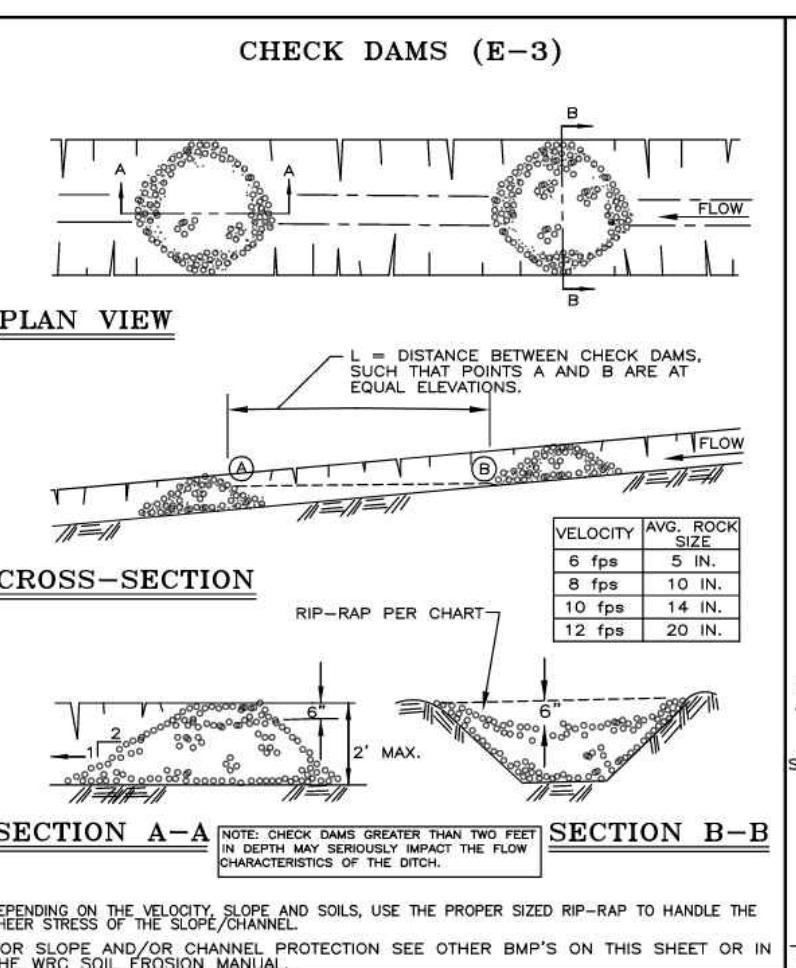
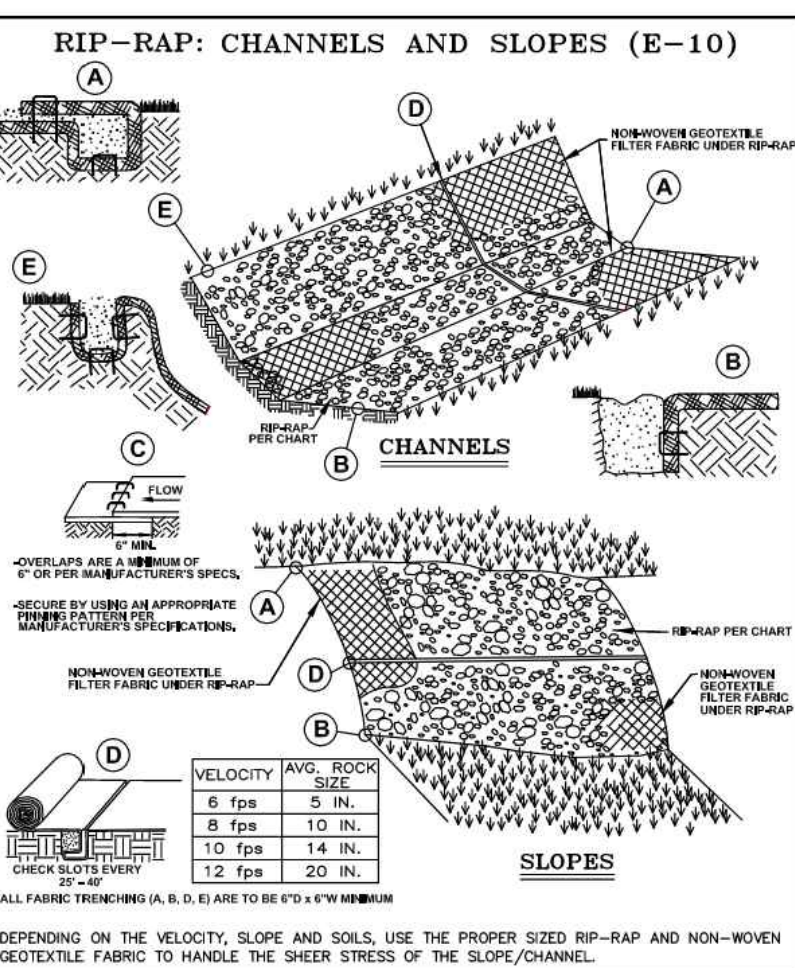
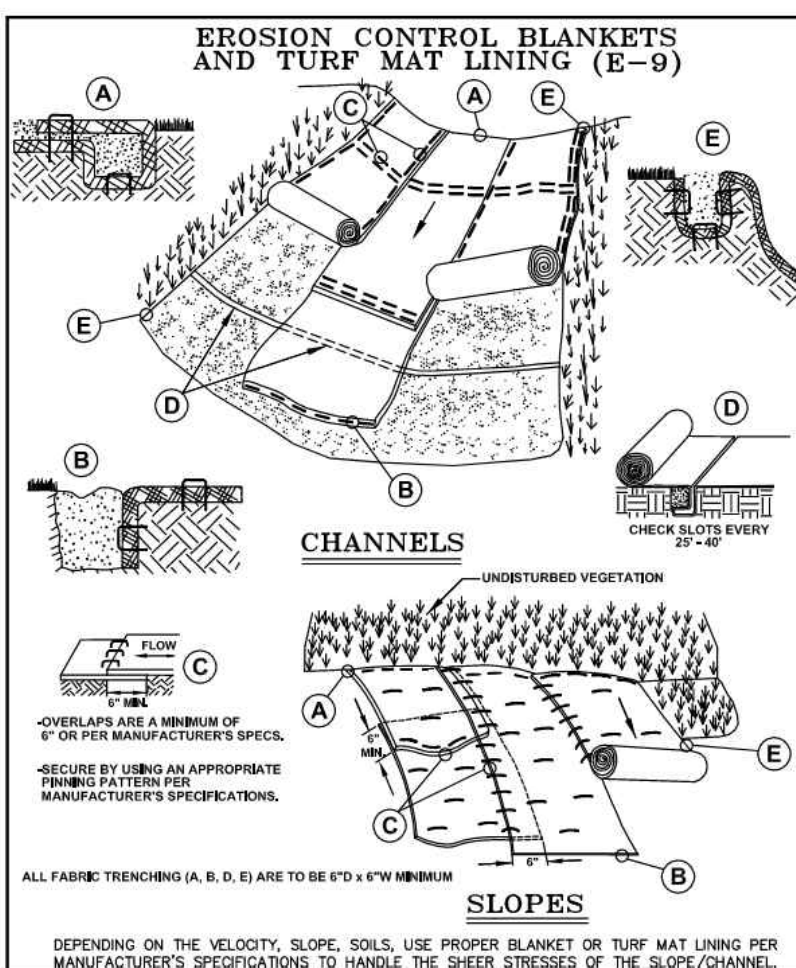
FIELD AREA: ROYAL OAK	PROJECT ID#	STA. NO.	DRAWING NO.	SHEET	REV.
GM-01178	67-053		C-2529-PMT	03	

FILE: 670063-C-2529-PMT-03.DWG
RASTER FILE:

SCALE
1" = 10'

DRAWING FILES ARE THE INTELLECTUAL PROPERTY OF CONSUMERS ENERGY
AND SHALL NOT BE DISTRIBUTED EXTERNALLY WITHOUT OWNER PERMISSION

DO NOT SCALE DRAWING USE DIMENSIONS ONLY



NOTE:

The Oakland County Water Resources Soil Erosion and Sedimentation Control standard details cannot be modified, reduced, edited, or changed in any way. Any deviation from these standard details must be approved in writing by the Oakland County Water Resources Commissioner. Changes otherwise made are in violation of Part 91 of Act 451 of 1994, the Natural Resources and Environmental Protection Act.

SOIL EROSION AND SEDIMENTATION CONTROL DETAILS

REVISION BLOCK

REV.	DATE	BY	DESCRIPTION

ORIG. DATE: 01/01/01
SCALE: NONE
DESIGNED BY: WRC
DRAWN BY: MapInfo

ONE PUBLIC WORKS OFFICE, 1100 S. WEST WATERFORD, MICHIGAN 48320
SHEET NO. 1 of 1

ORIGINAL DRAWING #	REV.	PROJECT ID	DATE	DESCRIPTION	DESIGNER	PEER REV.	DESIGN APP.	REV.	PROJECT ID	DATE	DESCRIPTION	DESIGNER	PEER REV.	DESIGN APP.	REV.

ROWE PROFESSIONAL SERVICES COMPANY

Consumers Energy

Count on Us®

GEO-SPATIAL & GAS ASSET MANAGEMENT
GAS METER AND REGULATION DEPARTMENT

MILLER AND PARKDALE REG STATION
2026 CONSTRUCTION

OCWRC SESC DETAILS

FIELD AREA: ROYAL OAK
PROJECT ID# STA. NO. DRAWING NO. SHEET REV.

FILE: 670063-C-2529-PMT-07.DWG SCALE: NONE GM-01178 67-053 C-2529-PMT 08

RASTER FILE: NONE

DESIGNER: J. ELIZANDO DATE: APRIL 2026
ENGINEER: K. LAMBERT DATE: APRIL 2026
PEER REV: K. LAMBERT DATE: APRIL 2026
DESIGN APPROVAL: D. SCOTT DATE: APRIL 2026
ENGINEER APPROVAL: A. TRENT DATE: APRIL 2026

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811 Know what's below. Call before you dig. www.call811.com

CAUTION IF INSTALLATION CANNOT BE COMPLETED AS DESIGNED CONTACT PROJECT ENGINEER BEFORE PROCEEDING

- FABRICATION NOTES**
- HEATER TO BE COVERED W/ 2" THK. FOAM GLASS & COVERED WITH .020" THK. EMBOSSED ALUMINUM JACKETING. JACKETING TO BE HELD IN PLACE W/ 1/2" WIDE STNL. STL. BANDING. (DO NOT PAINT ALUMINUM JACKETING)
STACK TO BE INSULATED W/ 1" THK. BLANKET
 - ALL TUBING TO BE 316SS W/ 316SS FITTINGS. (SWAGelok OR EQUAL)
 - ALL OPENINGS ARE TO BE PLUGGED OR COVERED SECURELY FOR SHIPMENT. FLANGED OPENINGS ARE TO BE COVERED WITH MOLDED PLASTIC COVERS. THREADED OPENINGS TO HAVE STEEL PLUGS. (NO WOODEN COVERS ALLOWED)
 - HEATER TO BE LEAKED TESTED W/ FIRE TUBE, COIL AND THIEF HATCH BOLTED IN PLACE.
 - ALL STUD BOLTS, MACH. BOLTS AND NUTS TO BE ZINC PLATED (SA325/SA193-B7/SA194-2H)
 - UNIT WILL BE TEST FIRED PRIOR TO SHIPMENT (UP THROUGH PILOT LIGHT) TO VERIFY PERFORMANCE & ENSURE THAT ALL SAFETY AND CONTROL SYSTEMS WORK AS DESIGNED. (THE MAIN BURNER WILL NOT BE IGNITED DURING THIS TESTING)
 - ALL EXTERNAL SURFACES TO BE COMMERCIAL BLAST CLEANED PER SSPC-SP-10 AND COATED AS FOLLOWS:
PRIMER COAT: ONE COAT OF SHERWIN WILLIAMS DURAPLATE 235 EPOXY (WHITE) (6/8 MILS D.F.T.)
FIRE TUBE STACK STUB (NON STAINLESS PORTION) TO BE ADDITIONALLY COATED AS FOLLOWS:
FINISH COAT: ONE COAT OF DAMPNEY THURMALOX 240 AIR DRY HIGH TEMP.
STACK TO BE BRUSH-OFF BLAST CLEANED PER SSPC-SP-16, NO COATING REQUIRED
LADDER & PLATFORM TO BE HOT DIPPED GALVANIZED.
 - THE GAS COILS AND THE FIRE TUBE SHALL BE ELECTRICALLY (CATHODICALLY) INSULATED FROM ALL SUPPORTING MEMBERS EXCEPT THE ENDPATE. NO DIRECT CONTACT BETWEEN THE GAS COIL AND FIRE TUBE IS ALLOWED.
 - ALL THREADED FITTINGS MUST BE PLAIN 3000# F.S. MIN. (SA-105) BLACK WITH YELLOW TEFLON TAPE USED ALONG WITH THREADING COMPOUND.
 - ALL FUEL GAS PIPING AND NIPPLES TO BE SCH. 80 MIN. (SA106-B)
 - LIFT LUGS ARE FOR LIFTING HEATER EMPTY ONLY.
 - APPROXIMATE WEIGHT EMPTY: 6,811#
APPROXIMATE WEIGHT FULL OF WATER: 9,147#

COIL SPECIFICATION

MATERIAL:
PIPE: SA106-B
FLANGES: SA105N
OLETS: SA105
WELDING FITTINGS: SA234-WPB

COIL M.A.W.P.: 400 PSIG @ -20°F/160° F.
MDMT: -20° F. @ 400 PSIG

LIMITED BY: DESIGN
FINAL HYDROSTATIC TEST: 600 PSIG (HOLD FOR 8 HRS.)
HEAT TREAT: 0 HR. @ MIN. @ 1150 ± 50 DEG. F.
CORROSION ALLOWANCE: NONE
RADIOGRAPHY: RT-1
ASME CODE: YES
NATIONAL BOARD STAMP REQUIRED: YES

COIL SURFACE AREA (EXTERNAL): 41.40 SQ. FT
4" S/40/1-PATH, 4-PASSES

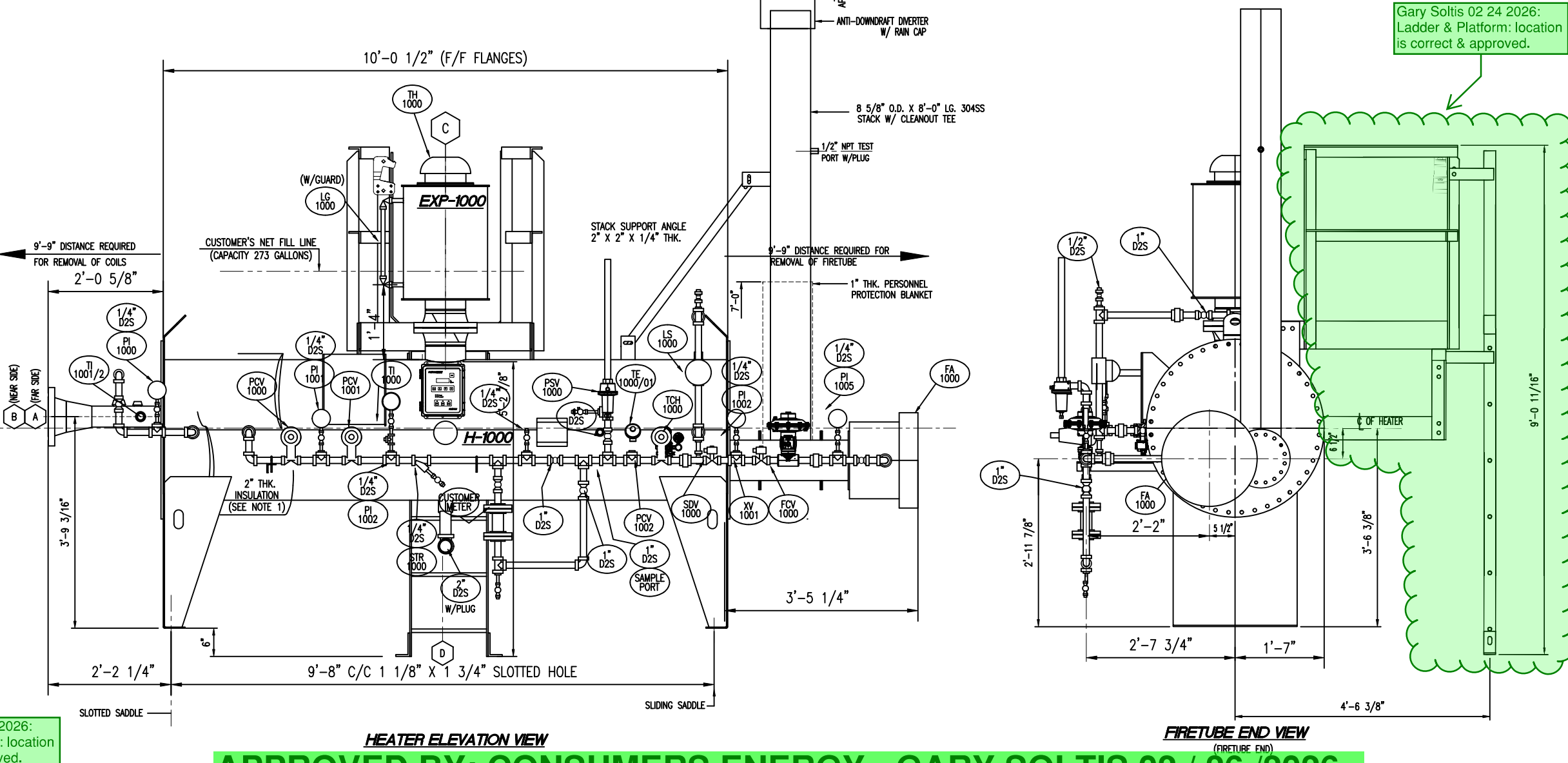
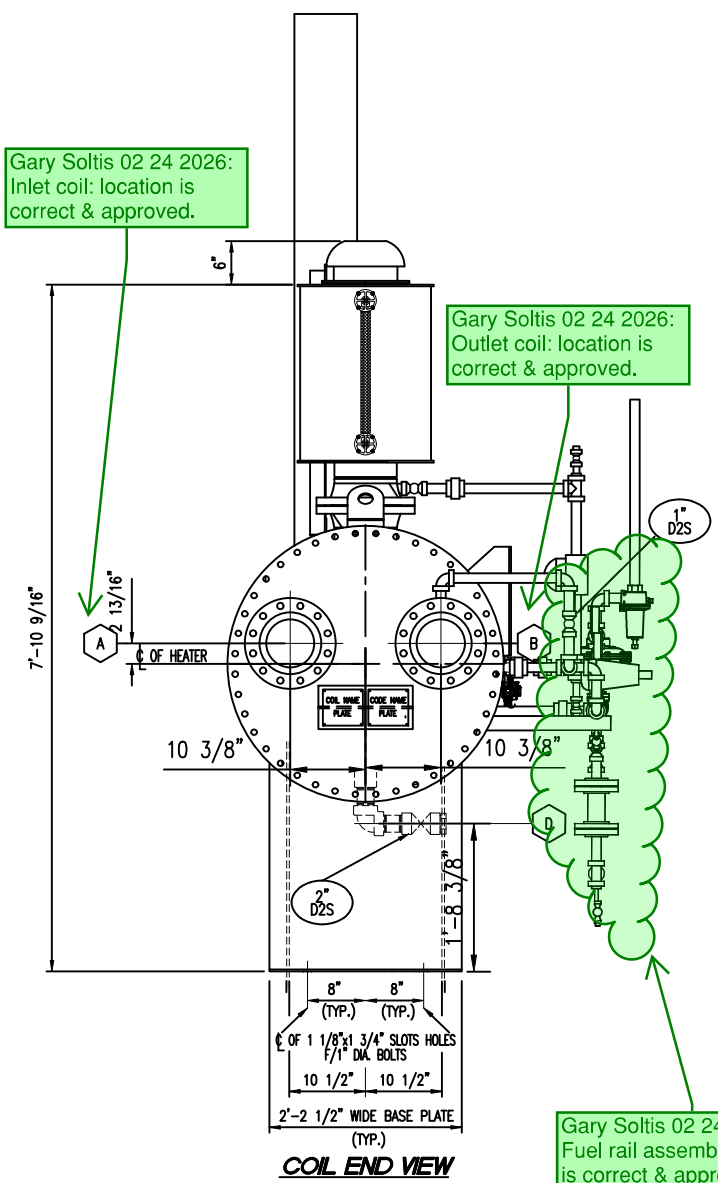
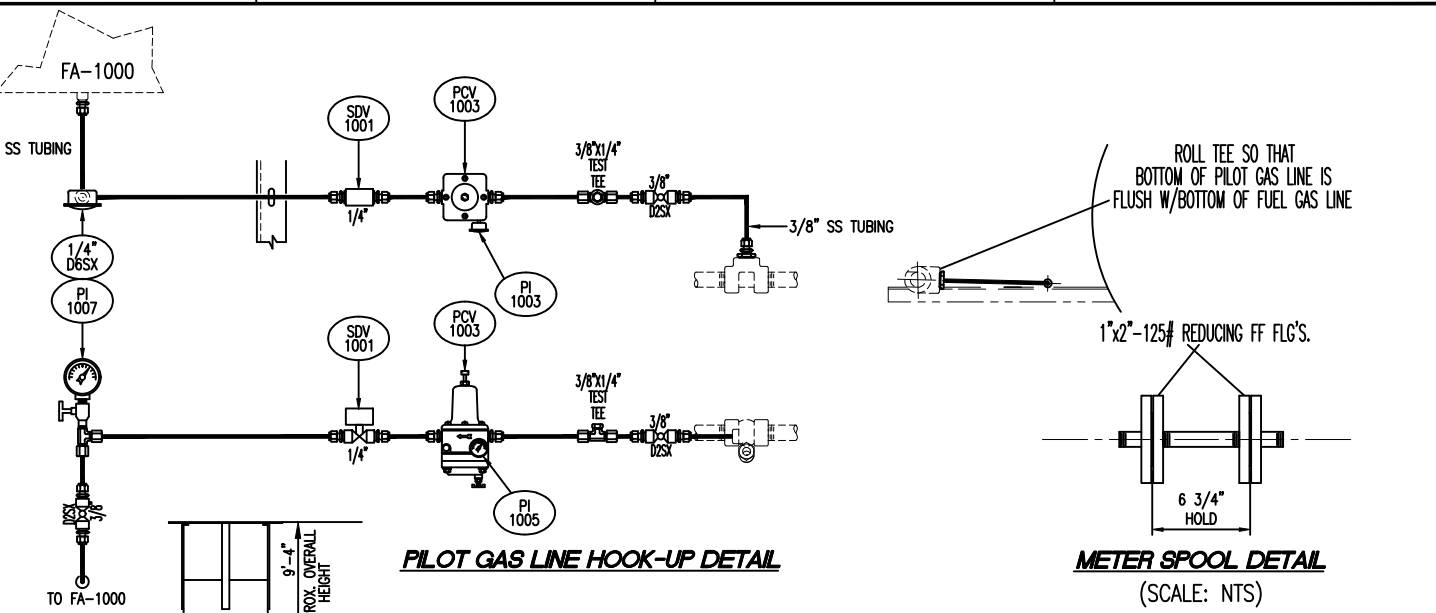
- NOZZLE LEGEND**
- A COIL CONN. (INLET) 6"-300# RF FLANGE
 - B COIL CONN. (OUTLET) 6"-300# RF FLANGE
 - C FILL CONN. 8"-150# RF FLANGE PRESSURE VACUUM
 - D DRAIN 2" NPT CONN. W/ PLUG

Gary Soltis 02 24 2026:
Inlet coil: geometry is correct & approved.

Gary Soltis 02 24 2026:
Outlet coil: geometry is correction & approved.

H-1000
INDIRECT GAS FIRED WATER BATH HEATER
30" O.D. X 10'-0" LG. X 0.40MM BTU/HR.
CAPACITY: 272 GALS.

EXP-1000
EXPANSION RESERVOIR
18" O.D. X 2'-0" LG. X ATMOS.
CAPACITY: 24.9 GALS.



Gary Soltis 02 24 2026:
Inlet coil: location is correct & approved.

Gary Soltis 02 24 2026:
Outlet coil: location is correct & approved.

Gary Soltis 02 24 2026:
Fuel rail assembly: location is correct & approved.

Gary Soltis 02 24 2026:
Ladder & Platform: location is correct & approved.

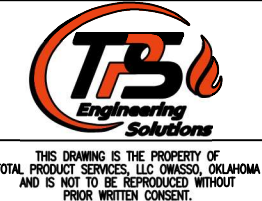
APPROVED BY: CONSUMERS ENERGY - GARY SOLTIS 02 / 26 / 2026

FOR APPROVAL

- APPROVED
 - APPROVED AS NOTED
BY: CE - GARY SOLTIS
DATE: 02 26 2026

2/16/2026

REV NO	DATE	BY	CHK'D	CUST APP'D DATE	APP'D BY	DESCRIPTIONS



GENERAL ARRANGEMENT FOR A
INDIRECT FIRED WATER BATH HEATER

30" O.D. X 10'-0" LG. X 0.40MM BTU/HR
4" SCH. 40, 1-PATH, 4-PASSES COIL
W/ 6"-300# RFWN FLANGES

JOB SITE: MILLER & PARKDALE
CUSTOMER: CONSUMERS ENERGY COMPANY

DRAWN: TSW
CHECKED BY: DEH
APP'D BY: DEH
SCALE: NONE
DATE DRAWN: 2/16/2026
REVISION NO: 0
DWG NO: 2602019-300
SHT: 1 OF 1

SEE DWG 2602019-101 FOR A LIST OF ACCESSORIES SUPPLIED BY TPS, SHIPPED LOOSE AND INSTALLED BY OTHERS