



City of Rochester

400 Sixth Street
Rochester, MI 48307
P: (248) 733-3700
F: (248) 733-3170
www.rochestermi.org

PLANNING COMMISSON REGULAR MEETING AGENDA

Chair David Gassen
Vice Chair & Council Member Christian Hauser
Mayor Nancy Salvia
Members: Daniel Bachmann, Jessica Clauser, David Hardin,
Richard Kendziuk, Laura Murphy & Matthew Stone

See Attached Document for Virtual Meeting Instructions

400 Sixth Street	November 5, 2025	7:00 PM
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1. Call to Order and Roll Call
2. Pledge of Allegiance
3. Public Comment
4. Approval of the Minutes
 - A. Consideration of the Minutes of the Regular Meeting of October 6, 2025.
5. Public Hearings
 - A. Consideration of site plan and special exception approval for limited retail use at 440 South Street/Assistance League of Southeast Michigan.
 - B. Request for Public Hearing: Consideration of 215 S. Main - Request for Facade Material Modification
6. Considerations:
 - A. Consideration of 329 S. Main: Request to Set Public Hearing for Payment in Lieu of Parking.
 - B. Consideration of preliminary plan for proposed office use at 1129 N. Main for scheduling of public hearing.
7. Miscellaneous

8. Public Comment

9. Adjourn

NOTE: Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248-733-3700 forty-eight (48) hours prior to the meeting. Staff will be pleased to make the necessary arrangements to provide necessary reasonable accommodations, including auxiliary aids and services, such as signers for the hearing impaired and audiotapes of printed materials being considered at the meeting.



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Procedure for Hybrid Public Meeting

The City has returned to in-person public meetings as of September 7, 2023, with limited online capabilities. The public bodies (our boards and commissions) are meeting in-person; however, some staff, consultants, and guests will still be able to participate remotely. While in-person audience seating is now available, with limited COVID-19 procedures in place, staff asks that anyone who feels sick not attend in-person.

If you choose to participate virtual, please follow the links and information below:

- Live stream audio and video content on two (2) separate streaming platforms available at the City's [YouTube](#) and at the City's website at www.rochestermi.org/201/City-Webcasts. (Click the "Live" links to go there.)
- The City remains committed to accessibility; however, due to the limitations of technology, City staff encourages residents to send an email with your comments to rsvp@rochestermi.org prior to the meeting, but not later than Noon on the day of the meeting, so that your comments can be read into the record. This will decrease the demand on our virtual meeting infrastructure. (After Noon on the day of the meeting, email comments to: jpeckens@rochestermi.org)
- For those who prefer to use a telephone to participate, you will need to call (312) 626-6799 and enter meeting **ID: 823 2602 0215** When prompted, enter a participant number or just touch the # key. During the call, use *9 to raise hand and you will be "called on" by the last 3-digits of your phone number. (For example, my last digits are 8029. Callers will be asked to speak by referencing the last 4-digits of their phone number.) Note: Phone participants will have their numbers masked, for privacy.
- To provide additional opportunity to participate, members of the public are welcome to join the meeting by copying and pasting the following link in their browser: **<https://us02web.zoom.us/j/82326020215>** (Downloading Zoom is required.)
- We appreciate your understanding as staff will do our best to assist everyone; but, **please be advised for virtual meetings there is a three (3) minute limit for public comments.**

1. CALL TO ORDER AND ROLL CALL

A meeting of the City of Rochester Planning Commission (PC) was called to order on October 6, 2025, at 7:00 p.m. by Vice Chairman Hauser.

PRESENT: Christian Hauser, Vice Chairman
Nancy Salvia, Mayor
Dan Bachmann, Commissioner
Jessica Clauser, Commissioner
Richard Kendziuk, Commissioner
Laura Murphy, Commissioner
Matt Stone, Commissioner

ABSENT: David Gassen, Chairman
David Hardin, Commissioner

quorum was present.

Also Present: Nik Banda, City Manager
Jeff Kragt, City Attorney (Zoom)
Vidya Krishnan, McKenna Planner (Zoom)
Jeremy Peckens, Planning and Zoning Administrator
Rose McKinney, Planning Clerk (Zoom)

2. PLEDGE OF ALLEGIANCE

Vice Chairman Hauser led the reciting of the Pledge of Allegiance.

3. PUBLIC COMMENT NON-AGENDA ITEMS

There was no public online or in person that wished to be heard.

4. APPROVAL OF MINUTES

A. Consideration of the Minutes of the Planning Commission Meeting of September 2, 2025.

MOTION by Salvia supported by Murphy to approve the minutes of September 2, 2025.

Ayes: Bachmann, Clauser, Hauser Kendziuk, Murphy, Salvia, Stone

Nays:

Absent: Gassen and Hardin

MOTION Carried.

5. PUBLIC HEARINGS

There were no public hearings at this meeting

6. CONSIDERATIONS

- A. 440 South St - Request for Public Hearing; Special exception use to allow for limited retail.

Vidya, Mckenna planner gave an overview of the request. The site would like to have limited retail sales for goods and large furniture items. After the initial review was done, the applicant submitted revised plans that were just received on Friday. Those revised plans will be reviewed before the public hearing. Vidya addressed the items that were in her letter dated September 29, 2025. Sidewalk will need to be placed along South Street, could be completed at a later date. A shared access agreement will also be needed for the driveway that is shared. The site does meet the parking requirements. The loading and unloading on the site will need to be addressed as to where that is taking place. The request is recommended for a public hearing provided revised plans are submitted addressing the items in the letter dated September 29, 2025.

Brief discussion of the difference between a Certificate of Occupancy and a special exception request. Plans that are not complete usually do not go to a meeting. The city is trying to move the applicant along in the process to be more business friendly.

Janice Yezak of 986 Churchill Cir was present for the Assistance league. The majority of the items are taken care of in the newly submitted plans. Clarification is needed on what is required and what is not. Vidya stated some of the comments are requirements that need clarification. All the items in the letter are required by ordinance. The next person that sees the plan at this location needs to know what exactly was approved which is why a revised plan is needed. City Manager Nik Banda gave an example that parking in a spot and unloading and loading is not acceptable as it becomes a hazard to others in the parking lot.

MOTION by Salvia supported by Murphy to approve for a public hearing at the next available meeting.

Ayes: Bachmann, Clauser, Hauser Kendziuk, Murphy, Salvia, Stone

Nays:

Absent: Gassen and Hardin

MOTION Carried.

B. Consideration of Zoning Board of Appeals Recommendations

City Manager Nik Banda gave an overview of the ZBA Recommendations, when the ZBA Sees an item come before the board several times they ask for a review on the ordinance.

1. Front Porches – The Board recommends that front porches be excluded from the overall lot coverage calculation, which is currently capped at 30%, under the following conditions: • The exempted porch area must not exceed 6 feet in depth and may not be wider than the width of the home. • This change would support the community's front porch aesthetic and encourage social interaction, while still allowing residents to maximize interior living space.

It is not recommended for approval

Oliver Fries of 312 Taylor spoke he would like to see the possibility of approval.

Ayes:

Nays: Hauser, Salvia, Bachmann, Clauser, Kendziuk, Lord, Murphy, stone

Absent: Gassen, Hardin

MOTION Carried to not make a change.

2. Increase Maximum Roof Height - The Board proposes increasing the maximum roof height from 25 feet to 30 feet in zoning districts R1, R2, R3, and R4. • This adjustment remains conservative compared to surrounding communities. • It would allow for the construction of a functional half-story third floor, which is already permitted by the ordinance but often unfeasible under the current height limit. • The change would improve architectural flexibility and provide more options for families seeking additional living space.

It is recommended for approval

Ayes:

Nays: Hauser, Salvia, Bachmann, Clauser, Kendziuk, Lord, Murphy, stone

Absent: Gassen, Hardin

MOTION Carried to not make a change.

3. The Board recommends allowing carriage style garages on lots where front-to-rear grading changes by the equivalent of one story. • In such cases, rear detached garages are often impractical or impossible due to elevation challenges. • These lots should be exempt from the standard restrictions on carriage style garages to allow for reasonable accommodation of on-site parking needs. • This change would provide flexibility for homeowners while maintaining design consistency with challenging topographies.

It is recommended for approval

Ayes:

Nays: Hauser, Salvia, Bachmann, Clauser, Kendziuk, Lord, Murphy, stone

Absent: Gassen, Hardin

MOTION Carried to not make a change.

C. 215 N Main – Request for a façade Material Modification

City Manger Nik Banda explained the project that is in progress. After discovering what the owners were placing on the building, they need site plan approval. The job could be complete in two days allowing Dans to hang lights for the season. It is asked to move the applicant to a public hearing.

MOTION by Salvia supported by Bachmann to approve for a public hearing

Ayes: Hauser, Salvia, Bachmann, Kendziuk, Lord, stone

Nays: Clauser, Murphy

Absent: Gassen, Hardin

MOTION Carried.

7.MISCELLANEOUS

Training is set for October 20 at 6:30 p.m. City Council, Planning and Zoning, is invited. Location to be determined.

City Manager, Nik Banda gave updates on all projects and ongoing issues.

8.PUBLIC COMMENT

There was no public online or in person that wished to speak.

9.ADJOURNMENT

Hearing there is no further business to discuss, the meeting was Adjourned at 8:53 P.M.

Respectfully Submitted,
Rose McKinney, Building and Planning Clerk



City of Rochester

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Rochester, MI 48307
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Planning Commission

NOTICE OF PUBLIC HEARING

400 Sixth Street

November 5, 2025

7:00 pm

NOTICE IS HEREBY GIVEN THAT THE ROCHESTER PLANNING COMMISSION will hold a Public Hearing for the consideration of site plan and special exception approval for limited retail on the Industrial zoned site. The site is located on the northwest corner of 440 South St. The public hearing is scheduled for **Wednesday November 5, 2025, at 7:00 p.m.** at the Rochester Municipal Offices, 400 Sixth Street, Rochester, MI 48307.

All interested citizens are requested to attend the Hearing. Public comments may be submitted in writing or presented orally at the time of the meeting. To submit written comments in advance, or for assistance and questions about accessing and/or making public comment during the meeting, our Planning Coordinator can provide assistance; please reach out to Jeremy Peckens at (248) 733-3700 or by email: Jpeckens@rochestermi.org.

If you are unable to be present at the Public Hearing, please submit your written comments to the Office of the City Manager, Rochester Municipal Offices, 400 Sixth Street, Rochester, MI 48307, **PRIOR** to the scheduled Public Hearing.

For further information, please contact **Jeremy Peckens, Planning and Zoning Administrator, at 248-733-3700**. See Planning Commission Agenda Packet for Zoom participation information.

Publish in the paper on or before October 15, 2025

NOTE: Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248-733-3700 forty-eight (48) hours prior to the meeting. Staff will be pleased to make the necessary arrangements to provide necessary reasonable accommodations, including auxiliary aids and services, such as signers for the hearing impaired and audiotapes of printed materials being considered at the meeting.



October 24, 2025

Planning Commission
City of Rochester
400 Sixth Street
Rochester, MI 48307

Subject: Assistance League of Southeastern Michigan/440 S. Street; Site Plan Review; Revised Plan dated 8/5/2024 and additional supplemental information stamped recd. by City on 10/1/2025.

Dear Commissioners:

At the City's request, we have conducted a review of a request from Jana Yezak on behalf of the Assistance League of Southeastern Michigan to provide retail sales of furniture and large goods at their warehouse facility located on South Street. The subject site is a 1.12-acre parcel located on the south side of South Street in the I-1 (Industrial-1) District.

The applicant appeared before the Planning Commission for a preliminary hearing on 10/6/2025 and was scheduled for a public hearing and provided with feedback regarding the site plan.

COMMENTS

Article 27, Section 2701 of the Zoning Ordinance, outlines the requirements for site plan review. We offer the following comments for your consideration:

1. **Use.** The site is occupied by an existing 12,227 sq. ft building which is divided into a major 8,895 sq. foot unit in the front occupied by the Assistance League and a rear 3,332 sq. ft occupied by Mann's Lumber for storage purposes. The applicant proposes to accommodate the retail sales of furniture which is donated to them in the rear of the main unit designated as "furniture annex." The City recently adopted a zoning text amendment that would permit limited retail use in the industrial areas on South Street. The limited retail use is permitted as a special exception in the I-1 District, but only as an accessory use clearly incidental and subordinate to a principal permitted use on the property [Section 1703 (7)].

The retail use can occupy no more than *25% of the tenant space up to 1,500 sq. ft.* The building is a multi-tenant structure because of the area leased to Mann's lumber. The furniture Annex occupies an area of 1,421 sq. ft which is 15.9%. The existing parcel is conforming with respect to minimum lot area and lot width.

2. **Setbacks.** The required front, rear and side yard setbacks in the I-1 district are 25 feet, 20 feet and 15 feet/40 feet combined, respectively. The existing building is nonconforming with respect to the east side yard which measures approximately 6' at the northeast corner of the building. This is an existing nonconformity which is not being altered.
3. **Vehicle Access.** The site has direct access from South Street which is through a shared access with the property to the west. This leads to a parking and loading area on the west side of the building. The applicant has submitted copy of a shared access *maintenance* agreement with the site to the



west. shared access on the west side of the building. It is our understanding that the applicant is in the process of obtaining a shared access agreement with the neighboring property. The agreement is subject to review and approval by the City Attorney and must be recorded with the County Registrar of Deeds.

Loading activity. The applicant was required to provide a dedicated loading area for pick-up and drop-off of larger items as required per Section 2405. While parking spaces can be used by customers to the site, the loading activity cannot take place in a parking space. The applicant has provided photographs of the area abutting the barrier free parking space which is striped and labeled in yellow paint for loading/unloading activity.

4. **Pedestrian Access.** The site's frontage on South Street has no sidewalk. An existing sidewalk terminates at the property's northeast corner. Goldfish Swim School and Rewold were required to add sidewalks along their frontages to create a continuous pedestrian walkway. As discussed at the preliminary hearing, the applicant has submitted a signed and notarized copy of a SAD agreement that would defer installation of the sidewalk along the site's frontage until such time that South Street is improved in the future or the subject site is redeveloped.
5. **Parking.** Parking for the subject site is noted based upon the use of all space for warehousing at the rate of 1 space/1500 sq ft of GFA. Based on these standards the site requires a total of 12 parking spaces are shown on the site, including one (1) barrier free accessible space. The dimensions of the spaces comply with ordinance standards. Per the applicant, barrier-free accessibility was reviewed and approved at the time of building renovation.

The site plan shows parking spaces abutting the west wall of the building. The applicant has submitted a letter dated 10/10/25 stating that they will not be installing curb or wheel stops and are fully responsible for any incidents or accidents that may occur as a result of vehicles driving into the building.

6. **Dumpster.** The site plan does not include any dumpster enclosure. The applicant has provided a letter dated 10/10/25 noting that the trash from various areas of the warehouse is taken home for disposal and recycling by their volunteers/employees.
7. **Lighting.** The site has three (3) existing wall-mounted light fixtures on the west façade of the building. The applicant has submitted photographs of the fixtures, which do not appear to be shielded. The existing fixtures have a dropped lens and no cut-off, creating glare. The City has required existing non-shielded fixtures to be replaced with new wall-mounted downward directed and shielded fixtures on other properties. *We recommend that if the fixtures are changed at a future date, the applicant consider shielded fixtures.*
8. **Architecture.** The existing building is an old block building, and the applicant proposes no changes to the exterior façade. Site plan approval requires the submission of elevations of all facades. We recommended that the applicant provide photographs of all facades of the building in lieu of elevations, which have been submitted. *In the future, the applicant should consider power washing the exterior façade to improve its appearance from the street.*



- 9. **Landscaping and Tree Removal.** The front yard of the site is provided with lawn and a *Sunset Maple* tree. A row of *Boxwood* shrubs is shown along the north façade of the building. No new landscaping is proposed at this time.
- 10. **Signage.** The applicant has stated that no new signage is proposed at this time.

RECOMMENDATION

The applicant has been working with the City to put together an application package that addresses the issues raised in our previous letter and items that are required by the Zoning Ordinance for site plan and special exception consideration. The applicant has repeatedly stated for multiple comments that the requirement is “not a condition for occupancy approval.” The requirements and process applied to this project are no different than those applied to every other project in the City of Rochester. **Compliance with Building Code for occupancy does not exempt a property from compliance with Zoning Ordinance Regulations. Building Code does not supersede Zoning Code unless expressly provided for by State Law.**

Based on the revised plan and supplemental information submitted, we recommend that the Planning Commission grant site plan and special exception approval for the proposed retail use to be located within the building located at 440 South Street, subject to the following conditions:

- 1. City Attorney approval of shared access agreement and recording of the document.

Respectfully,
McKENNA

Ms. Vidya Krishnan
Senior Principal Planner

Cc: Jeremy Peckens
Nik Banda
Jeff Kragt
Rose McKinney



City of Rochester Planning Commission
City of Rochester
400 Sixth Street
Rochester, MI 48307

Subject: Application for Special Exception – Retail Sales at 440 South Street, Rochester

To whom it may concern,

This letter is a formal request for the Assistance League of Southeastern Michigan's Application for Special Exception to have a Point of Sale at our property at 440 South Street in Rochester.

Assistance League of Southeastern Michigan (ALSM), an all-volunteer 501©3, purchased 440 South Street to serve as a warehouse for meetings, assemblies, and storage of materials. Over \$220,000 was spent renovating and bringing the building up to code in all areas, and we were issued a Certificate of Occupancy in October, 2024.

The warehouse is divided into two warehouses: the main being 8,895 sq. ft., and a smaller unit at 3,332 sq. ft. The smaller, back section is being leased to Mann's Lumber, who owns a building next door on South Street. Our organization occupies the larger space. Two donors provided funds to install a firewall 30 feet from the rear wall of the main warehouse in order to sell used furniture. This Furniture Annex is an extension of our store at 204 S. Main Street in Rochester. We lease the property on Main Street in Rochester, and operate an upscale resale store to raise funds to support our 9 philanthropic programs. The ReSale Connection sells women's clothing, housewares, and small furniture pieces. Donors to the ReSale Connection have wanted to donate larger pieces of furniture that we did not have room for in the Main Street store. We seek to enhance our service to the community by offering limited, direct sales to customers from the Furniture Annex in the warehouse. This retail activity will be 2-3 days per week for 3-4 hours each day. We are committed to ensuring that it will not negatively impact the surrounding area in terms of traffic, noise, or safety.

The ability to sell used furniture at the Furniture Annex in the building at 440 South Street will provide additional revenue for our philanthropic work. We have been an Assistance League

RESOLUTIONS FOR MCKENNA COMMENTS

1. The site plan the gross floor area as 12,694 sq. ft. and net floor area as 12,227 sq. ft. The retail use can occupy no more than *25% of the tenant space up to 1,500 sq. ft.* The building is a multi-tenant structure because of the area leased to Mann's lumber. The applicant's cover letter incorrectly calculates the usage based on the GFA of the entire building rather than the tenant space occupied by the Assistance League. Correct the discrepancy in the letter for the record.

Corrected in letter.

2. The proposed furniture annex occupies 1,421 sq. ft which is approximately 15.97% of tenant space and is within limits.

Planners calculation used inn updated letter.

3. The site plan and floor plan must be updated to show the location of the furniture annex with dimensions to ensure it complies with ordinance limits.

Final submitted site plan and floor plan was located. We submitted 5 copies and a flashdrive.

4. Access to the site is currently off South Street and remains unchanged. However, note area on the site plan where buyers will park for loading/unloading of furniture.

Parking was approved. Large deliveries are made when store is closed. A larger truck would use the marked parking spaces. Small deliveries come in a car or pickup and marked spaces are used.

5. The site's frontage on South Street has no sidewalk. An existing sidewalk terminates at the property's northeast corner. Goldfish

chapter of the national organization for over 30 years, based in Rochester. The ReSale Connection has been a mainstay on Main Street; our store has been in operation for over 25 years. We provide many goods and services in the tri-county area. ALSM distributes new clothing to over 4000 school children each year through Operation School Bell, provides new clothing for survivors of domestic abuse and/or sexual violence, gives needy new mothers layette kits and portable cribs, makes monetary donations to the Neighborhood House Food Bank, furnishes scholarships, tutoring, and assistance to Foster Care children, Veterans, Seniors, etc. Our impact in the community is significant.

The included Site Plan is exactly the same as when it was approved August 13, 2024. There are no changes to the footprint, the outside of the building, landscaping, or parking, all of which has received prior City of Rochester approval.

The gross total area of the warehouse is 12,694 square feet. The total floor that Assistance League occupies 8895 sq ft. of the space. Our Furniture Annex, for which we are requesting the Special Exception, is 1,421 sq.ft. The Furniture Annex is 15.97% of total area, well below the 25% requirement limit for sales.

This letter is accompanied with the required 6 copies of the Site Plan, as well as an electronic copy, and payment of fees. We respectfully ask that this request be placed on the agenda for the next meeting of the Planning Commission, and that we be notified of any further steps required to move forward.

Thank you for your time and consideration. Should you require any additional information or clarification, please contact Jana Yezak at 248-821-8357 or jyezak1016@yahoo.com, or Karen Boyk, 248-321-6026 or karenbyk@aol.com.

Best regards,

Jana Yezak

ALSM City of Rochester Representative

Karen Boyk

ALSM Warehouse Chair

Swim School and Rewold were required to add sidewalks along their frontages to create a continuous pedestrian walkway. A 5' wide concrete sidewalk must be installed.

Sidewalk was not required for warehouse approval for occupancy.

6. The subject site appears to share the access drive and main parking area with the abutting property to the west. Clarify if there is a shared access agreement in place and provide a copy of the same to the city.

There is no shared agreement in place. ALSM owns the majority of the parking area. Manns uses our parking area. This was not a requirement for warehouse occupancy.

7. Provide detailed truck circulation diagram to show on-site circulation for delivery, loading and unloading area of trucks, as required by Section 2405 of the Zoning Ordinance.

We do not have daily delivery trucks. They back in and then pull out.

Most deliveries are small trucks. They pull in to a space and back out.

8. Parking requirement for the subject site is one (1) space per 1,500 sq. ft for the entire building. Based on the building size, the site requires a total of 8 space, and 10 have been provided.

No issue.

9. The site plan notes one (1) barrier free accessible space on the northwest corner of the building. Clarify if the door closest to the space is at grade and Clarify if the door closest to the space is at grade and appropriately sloped for handicap access. The site must provide barrier free access to the furniture

annex as required per ADA rules.

This is addressed in final submitted site plan.

10. The site plan shows parking spaces abutting the west wall of the building. Clarify if there is a curb, wheel stops or other means to protect the building from vehicle encroachment.

There are no curbs or wheel stops. Not a condition for warehouse occupancy.

11. The site plan does not show a trash enclosure for the site, which is required for all industrial sites. Clarify.

We do not have trash removal. The trash is taken to member's homes.

Not a condition for warehouse occupancy approval.

12. The site plan notes the location of wall mounted light fixtures on the building. Demonstrate adequate illumination in the area where the retail furniture annex is to be located.

See final submitted site plan. Three LED lights were added.

13. The applicant proposes no changes to the exterior building façade. However, for site plan approval, the submission must include elevations of all facades of the building (not just the front). We recommend that elevations or color photographs in lieu of elevations be submitted.

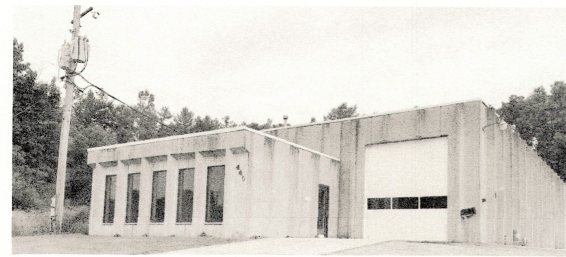
Not a condition for warehouse occupancy approval. We will provide additional photos.

14. The submission includes no landscape plan. Please provide copy of an existing landscape plan. While the Zoning Ordinance does not have specific landscaping requirements for the Industrial district, landscaping is a critical element of site design. We suggest that the applicant consider adding one (1) deciduous tree such as a Red Maple to the front lawn area to enhance the site. **See final submitted site plan. A red maple and boxwoods were added.**

15. Clarify if any additional signage is proposed to advertise the retail use. **We request and anticipate no additional signage.**

ASSISTANCE LEAGUE of SOUTHEASTERN MICHIGAN

Warehouse Building
440 South Street
Rochester, MI 48307



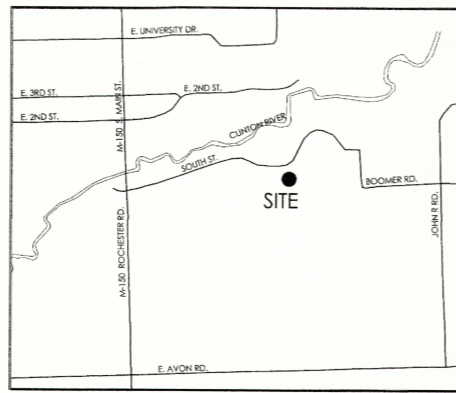
FRONT ELEVATION FROM SOUTH STREET



FRONT WAREHOUSE



REAR WAREHOUSE



North
LOCATION MAP
NO SCALE

REVISIONS				SHEET INDEX	
NO.	DATE	DESCRIPTION	SHEET NO.	SHEET DESCRIPTION	
4	3	1	ARCHITECTURAL		
			SP101	PROPOSED SITE PLAN	
			A100	BF DETAILS & LIFE SAFETY PLAN	
			A101	FLOOR PLAN	
			A102	REFLECTED CEILING PLAN	
			A103	FURNITURE/SHELVING PLAN	

SITE PLAN KEY NOTES

- 1 EXISTING ASPHALT PAVING
- 2 EXISTING CONCRETE DRIVE
- 3 EXISTING LAWN AREA
- 4 PROPOSED (13) BOXWOOD SHRUBS IN 4' WIDE MULCH BED - KNIT TOGETHER AS A HEDGE 24" HIGH AND (1) 'RED SUNSET RED MAPLE' 2 1/2" BB
- 5 BARRIER FREE WALL SIGN
- 6 NEW STRIPING FOR ADA ACCESS AISLE AND PARKING
- 7 EXISTING BUILDING MOUNTED LIGHTS
- 8 EXISTING TRENCH DRAIN
- 9 EXISTING STORM DRAIN
- 10 EXISTING MANHOLE
- 11 EXISTING CONC CURB/GUTTER STREET
- 12 EXISTING TREE LINE
- 13 EXISTING LINE OF ASPHALT PAVING
- 14 EXISTING UTILITY POLE
- 15 REPLACE CONCRETE SLAB AT ENTRY
- 16 ROOF DOWNSPOUT
- 17 NEW ASPHALT AREA INDICATED TO PROVIDE 2% RUNNING AND CROSS-SLOPE IN BF SPACE AND ACCESS AISLE
- 18 SHARED CURB CUT
- 19 LOADING AREA

BUILDING TRASH NOTE:

GOODS WAREHOUSED IN THE BUILDING WILL BE MAINTAINED IN THEIR PACKAGING FOR FUTURE DISTRIBUTION. ANY MISCELLANEOUS TRASH WILL BE REMOVED FROM THE BUILDING BY OWNERS. NO DUMPSTER WILL BE ON-SITE.

LEGAL DESCRIPTION

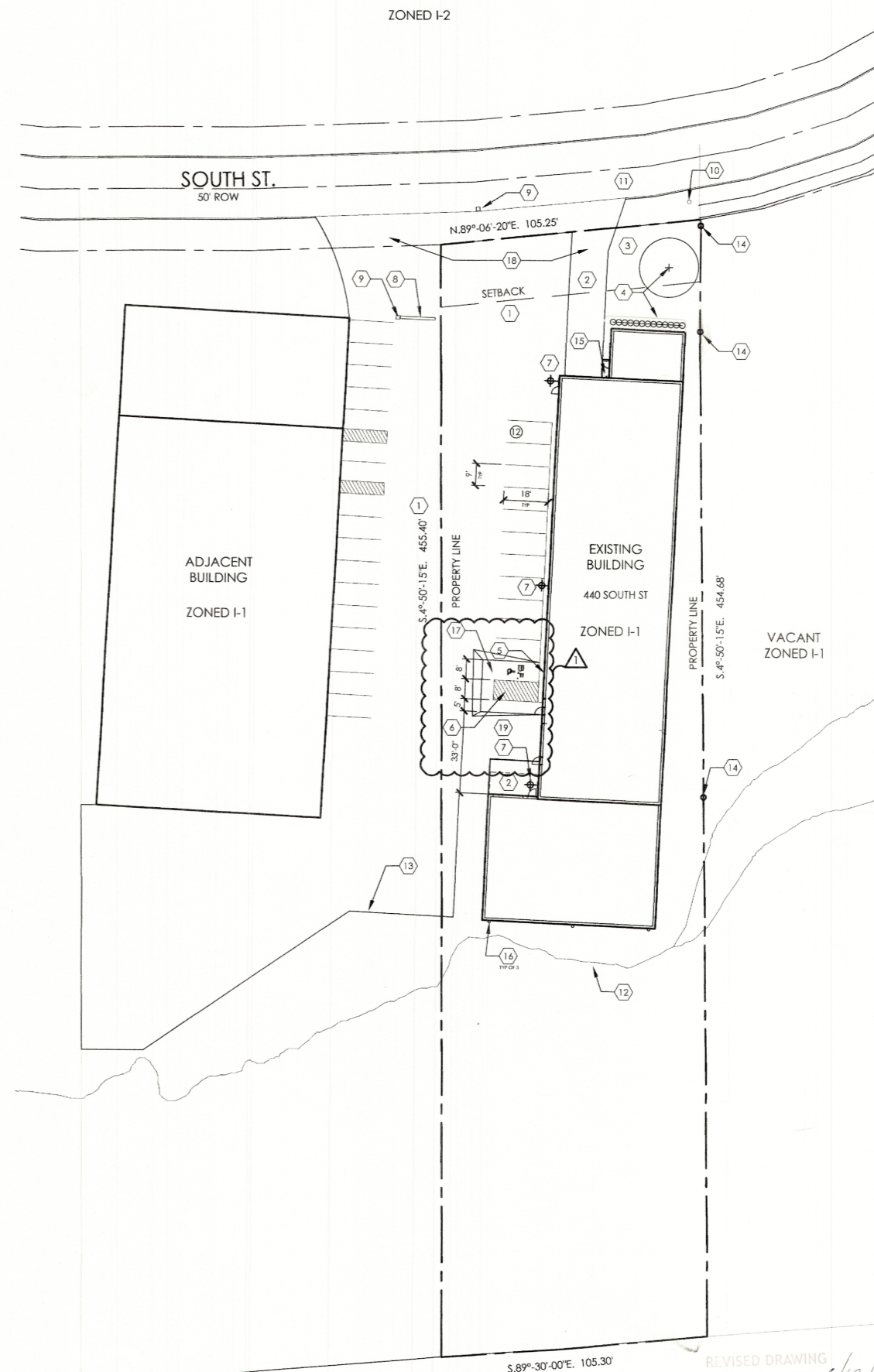
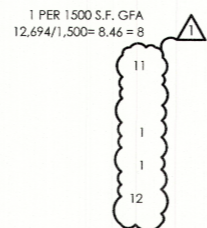
THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS:
LAND SITUATED IN THE CITY OF ROCHESTER, COUNTY OF OAKLAND, STATE OF MICHIGAN DESCRIBED AS FOLLOWS:
T3N, R1E, SEC 14 SUPERVISOR'S PLAT NO 2 PART OF LOT 50 BEG AT NE LOT COR, TH S 04-50-15 W 455.40 FT, TH N 89-04-20 W 105.25 FT, TH N 04-50-15 E 454.68 FT, TH S 89-30-00 E 105.30 FT ALG N LOT LINE TO BEGINNING, CONTAINING 1.2 AC (+/-)

INFORMATION SOURCE

THIS DRAWING WAS PRODUCED FROM INFORMATION OBTAINED FROM THE FOLLOWING SOURCES:
ArcGIS PROPERTY DESCRIPTION MAP
LINK: <https://www.arcgis.com/apps/webappviewer/index.html?id=bc6e0b7f38af484b98018bd65b748ea44>
OAKLAND COUNTY MICHIGAN - PROPERTY GATEWAY
LINK: <https://gis.oakgov.com/PropertyGateway/Home.mvc>

SITE DATA

PROPERTY ADDRESS
440 SOUTH STREET
ROCHESTER, MI 48307
PROJECT DESCRIPTION: WAREHOUSE RENOVATION, NO ADDITION TO BUILDING AREA.
ZONING ORDINANCE: CITY OF ROCHESTER - DATED February 14, 2024
PARCEL NUMBER: 68-15-14-176-023
EXISTING ZONING: I-1 (INDUSTRIAL)
LAND USE DESCRIPTION: WAREHOUSE
SITE AREA: 48,671 S.F. = 1.12 ACRES
SETBACKS: YARD FRONT (NORTH) 25 FT REQUIRED
SIDE (EAST) 15 FT MIN
REAR (SOUTH) 20 FT
SIDE (WEST) 25 FT (40 FT TOTAL OF SIDE YARDS)
BUILDING HEIGHT MAXIMUM: 50 FT
BUILDING HEIGHT ACTUAL: 20 FT(+/-)
EXISTING GROSS BUILDING AREA: 12,694 S.F.
EXISTING USE: WAREHOUSE
PARKING REQUIREMENTS:
REQUIRED:
WAREHOUSE
PARKING PROVIDED @ 9' X 18'
BARRIER FREE PARKING:
BARRIER FREE PARKING REQUIRED - 1/25
BARRIER FREE PARKING PROVIDED
TOTAL PARKING PROVIDED:
BARRIER FREE SIGN: INSTALL NEW BARRIER FREE SIGNS PER DETAIL
UTILITIES: ALL UTILITIES ARE EXISTING
PAVEMENT DRAINAGE: MAINTAIN EXISTING SITE DRAINAGE CONDITIONS
RIGHT OF WAY: ALL WORK WITHIN STATE, COUNTY OR CITY RIGHT OF WAY MUST RECEIVE APPROVAL OF THAT AGENCY BEFORE BEGINNING WORK

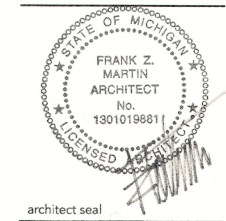


CITY OF ROCHESTER HILLS

1 Site Plan
1" = 30'-0"

REVISED DRAWING
APPROVAL DATE: 5/13/24
RW

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Issue / Revision Date	Description
7-10-24	Administrative SPA
7-12-24	Owner Review
7-15-24	Bid Permit
8-5-24	Revisions

drawn by _____ checked by _____

Assistance League of S.E. Michigan
Warehouse
440 South Street
Rochester, MI
Site Plan
project: _____ sheet title: _____

dma
DORCHEN / MARTIN
Dorchen/Martin Associates, Inc.
Architects/Planners
29895 Greenfield Rd., Suite 107
Southfield, Michigan 48076
(248) 557-1062
www.dorchenmartin.com
job number 24037 sheet number SP101

CODE COMPLIANCE INFORMATION

PROJECT SUMMARY:
SCOPE OF WORK CONSISTS OF INTERIOR CLEAN-UP AND GYPSUM BOARD INSTALLATION ON EXISTING STUD FRAMING IN THE OFFICE AREAS AND THE CREATION OF A UNISEX BARRIER FREE TOILET ROOM. THE FRONT WAREHOUSE OF THE EXISTING INDUSTRIAL BUILDING WILL BE USED AS A WAREHOUSE FACILITY FOR THE ASSISTANCE LEAGUE OF SE MICHIGAN TO STORE CLOTHING AND FURNITURE (UNUPHOLSTERED) FOR FUTURE CHARITABLE DISTRIBUTION. THE REAR WAREHOUSE WILL BE SUBLET FOR WAREHOUSING DOORS, FRAMES AND MISCELLANEOUS WOOD TRIMS.

APPLICABLE CODES:

BUILDING CODE: 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS - LEVEL 2
 PLUMBING CODE: 2018 MICHIGAN PLUMBING CODE
 ELECTRICAL CODE: 2017 MICHIGAN ELECTRICAL CODE/2017 NEC
 MECHANICAL CODE: 2015 MICHIGAN MECHANICAL CODE
 FIRE PROTECTION: 2015 INTERNATIONAL FIRE CODE
 ACCESSIBILITY CODE: 2009 ICC/ANSI A117.1

CODE CLASSIFICATION & BUILDING DATA:

OCCUPANCY: S-1 MODERATE STORAGE
 B BUSINESS (OFFICES)
 NON-SEPARATED

CONSTRUCTION CLASSIFICATION: TYPE 2-B

SPRINKLERS: NO

AREA BREAKDOWN:

WAREHOUSING (S-1)	ALLOWABLE 17,500 SF	ACTUAL 8,895 SF FRONT WAREHOUSE 3,332 SF REAR WAREHOUSE
-------------------	------------------------	---

THE FRONT AND REAR WAREHOUSE ARE SEPARATED BY A (3) HOUR FIRE PARTITION

TOTAL FLOOR AREA: 12,227 SF

OCCUPANT LOAD:

S-1	FRONT WAREHOUSE	1/500 SF	7,474 SF/500 SF=15	15 OCCUPANTS
B	FRONT WAREHOUSE	1/100 SF	565 SF/100 SF=5.6	6 OCCUPANTS
S-1	FURNITURE WAREHOUSE	1/500 SF	1,421 SF/500 SF=2.8	3 OCCUPANTS
TOTAL				24 OCCUPANTS
S-1	REAR WAREHOUSE	1/500 SF	3,332 SF/500=6.6	7 OCCUPANTS
TOTAL				7 OCCUPANTS

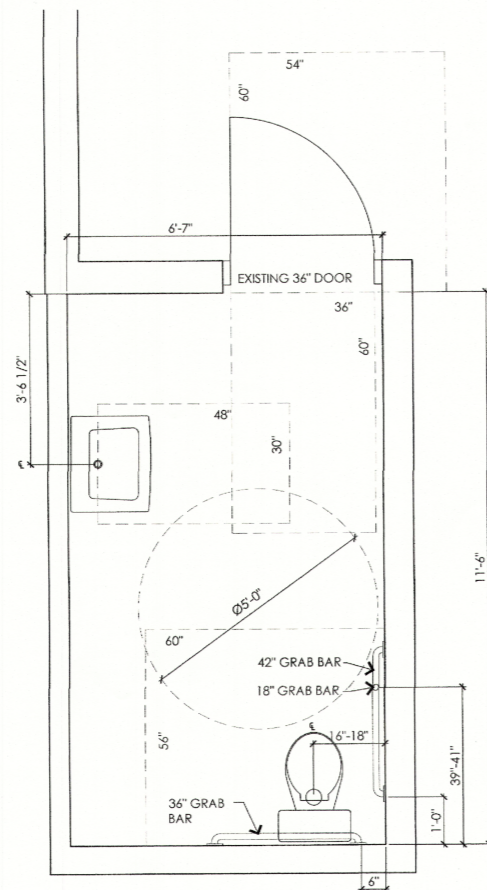
EGRESS REQUIREMENT:

FRONT WAREHOUSE	2 REQUIRED (BASED ON TRAVEL DISTANCE)	3 PROVIDED
REAR WAREHOUSE	1 REQUIRED	1 PROVIDED

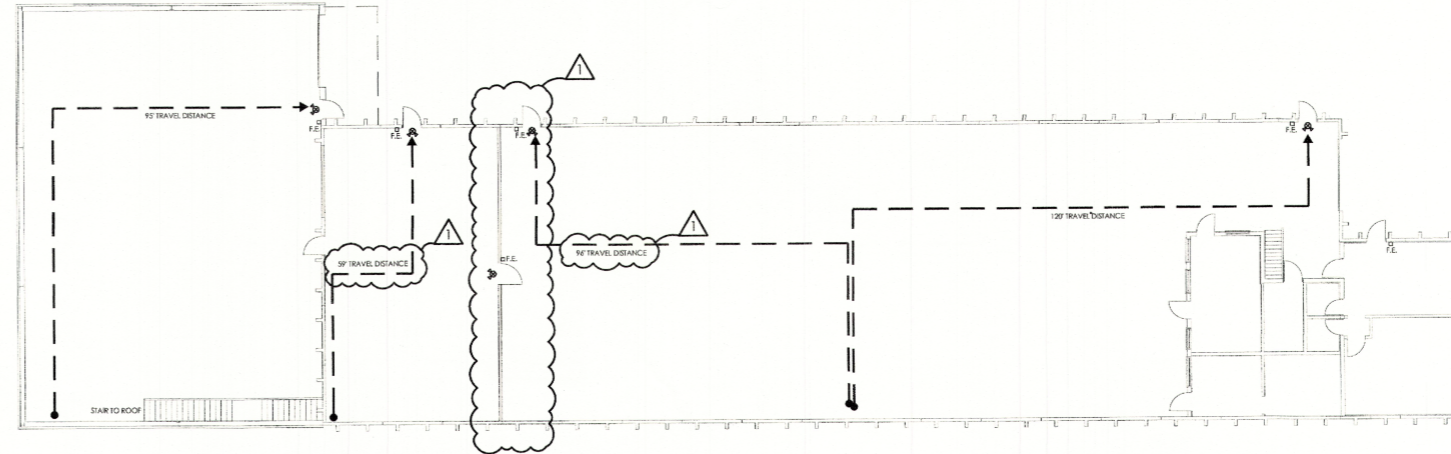
TRAVEL DISTANCE:

FRONT WAREHOUSE	ALLOWABLE = 200'	PROVIDED=120'
FRONT WAREHOUSE	ALLOWABLE = 200'	PROVIDED=96'
FURNITURE WAREHOUSE	ALLOWABLE = 200'	PROVIDED=59'
REAR WAREHOUSE	ALLOWABLE=100'	PROVIDED=95'

TABLE 1017.2
TABLE 1006.2.1 (LESS THAN 30 OCCUPANTS)



3 Enlarged Barrier Free Toilet Room
Scale: 1/2" = 1'-0"



2 Life Safety Plan
Scale: 1/16" = 1'-0"

LAV. MOUNTING HEIGHT FOR ACCESSIBILITY	MOUNTING HEIGHT FOR ACCESSIBILITY	BARRIER FREE MINIMUM REQUIREMENTS
		<p>TOILET STALL — SEE PLANS</p> <p>WATER CLOSET SEAT — 17" TO 19" ABOVE FIN. FLOOR</p> <p>URINAL — RIM 11" ABOVE FIN. FLOOR MAX. FLUSH VALVE 48" ABOVE FIN. FLR MAX.</p> <p>LAVATORY — MAX. HEIGHT 34" ABOVE FIN. FLOOR TO TOP OF VANITY. MIN. CLEARANCE TO BOTT. OF APRON 21" HEIGHT. CONTROL VALVE LEVER TYPE. ENCLOSE OR INSULATE ALL EXPOSED PIPING BELOW LAVATORIES TO MEET BARRIER FREE REQUIREMENTS</p> <p>SHOWERS AND TUBS — TO COMPLY WITH ICC/ANSI 117.1 - 2017 REGULATIONS.</p> <p>FLOOR DRAINS — AS INDICATED ON THE PLANS</p> <p>MIRROR — BOTT. EDGE OF MIRROR MAX. HEIGHT 40" ABOVE FIN. FLOOR</p> <p>HORIZONTAL GRAB BARS — 33"-36" ABOVE FIN. FLOOR 1/4"-2" DIA. 1/2" CLEAR FROM WALL. 42" MIN LENGTH AT SIDE AND 36" MIN LENGTH BEHIND WC.</p> <p>VERTICAL GRAB BAR — 39"-41" ABOVE FIN. FLOOR 1/4"-2" DIA. 1/2" CLEAR FROM WALL 18" MIN LENGTH</p> <p>SINK — MAX. HEIGHT 34" ABOVE FIN. FLOOR</p> <p>SHELF — 40"-48" ABOVE FIN. FLOOR</p> <p>STALL DOOR — 32" WIDE MIN. CLEAR, SELF CLOSING TYPE</p> <p>CLEAR FLOOR SPACE — SEE PLANS</p> <p>HANDICAP DOOR HARDWARE NOTES: HANDLES, PULLS, LATCHES, LOCKSETS AND OTHER OPERATING MECHANISMS ON ENTRANCE DOORS, TOILET ROOMS DOORS AND OTHER DOORS WHICH ARE A PART OF AN ACCESSIBLE ROUTE, SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND WHICH DOES NOT REQUIRE A TIGHT GRASPING, TIGHT FINCHING OR TWISTING OF THE WRIST TO OPERATE. LEVER OPERATED MECHANISMS AND "V" SHAPED HANDLES ARE ACCESSIBLE DESIGNS. ALL DOORS SHALL BE OPERATED BY A SINGLE EFFORT. INTERIOR SWINGING DOORS SHALL BE OPERABLE BY A FORCE OF NOT MORE THAN 5 POUNDS.</p>
TYPICAL BARRIER FREE TOILET ELEVATION (FLOOR MOUNTED TOILET)	TYPICAL BARRIER FREE TOILET	
TYPICAL BARRIER FREE DRINKING FOUNTAIN		

1 Barrier Free Toilet Room Information
Scale: N/A

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issue / revision date
7-10-24 Administrative SPA
7-12-24 Owner Review
7-15-24 Bid Permit
8-5-24 Revisions

drawn by _____ checked by _____

project: Assistance League of S.E. Michigan Warehouse 440 South Street Rochester, MI
 Barrier Free Requirements Enlarged BF Toilet Room Plan Life Safety Plan Code Compliance Notes

dma
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 www.dorchenmartin.com

job number 24037 sheet number A100

REVISED DRAWING APPROVAL DATE: 8/13/24

FIRE PARTITION INFORMATION
3-HOUR GYPSUM BOARD METAL STUD WALL ASSEMBLY
U-4105 ASSEMBLY
(3) LAYERS OF 5/8" TYPE "X" GYPSUM BOARD ON EACH SIDE OF 3 5/8" 20 GAUGE METAL STUDS AT 24" O.C. MAXIMUM WALL ASSEMBLY TO FILL THE ENTIRE OPENING WHEN THE EXISTING OVERHEAD DOOR IS REMOVED.
3-HOUR CONCRETE DOUBLE-T WALL ASSEMBLY
CONCRETE DOUBLE-T 10" WIDE 6" THICK WALL PANEL:
SEE DOCUMENTATION PREPARED BY McDOWELL & ASSOCIATES, DATED JUNE 4, 2024, REGARDING WALL ASSEMBLY RATINGS.
PROVIDE (3) HOUR RATED SEALANT IN ALL VERTICAL JOINTS OF THE 3-HOUR CONCRETE DOUBLE-T WALL ASSEMBLY - FIRE PARTITION. SEALANT AS MANUFACTURED BY 3M - FIRE BARRIER SILICONE SEALANT 1000 NS OR OTHER EQUIVALENT MANUFACTURER.

GENERAL PROJECT NOTES
1. PATCH AND REPAIR WALLS, FLOORS AND CEILINGS TO ENSURE FLUSH, EVEN, LEVEL SURFACE TO RECEIVE ANY NEW FINISH MATERIAL.
2. ALL EXISTING FLOOR FINISHES TO REMAIN EXCEPT AS NOTED. THE FLOOR SUBSTRATE SHALL BE PREPARED FOR NEW FLOOR FINISH INSTALLATION.
3. EXISTING HVAC SYSTEM TO REMAIN FOR OFFICE AREA- ADJUST REGISTER AND DIFFUSER LOCATIONS PER FLOOR PLAN AND CEILING GRID.
4. EXISTING PLUMBACE AND WATER HEATER ARE LOCATED ON THE UTILITY MEZZANINE AND WILL REMAIN UNCHANGED.
5. EXISTING SITE POWER AND DATA SYSTEMS TO REMAIN. RELOCATE POWER AND DATA PER EQUIPMENT LOCATIONS.
6. ALL WORK TO MEET LOCAL, STATE AND NATIONAL BUILDING AND FIRE CODES.
7. UTILIZE HEPA FILTER AIR UNITS TO MINIMIZE DUST DURING DEMOLITION & NEW WORK. PROVIDE TEMPORARY FILTER COVER ON ALL RETURNS.
8. REMOVE DEBRIS FROM BUILDING IN A MANNER THAT DOES NOT RESTRICT NORMAL BUILDING USE AND IN A LEGAL MANNER TO AUTHORIZED FACILITIES LICENSED TO RECEIVE CONSTRUCTION WASTE MATERIALS.

McDowell & Associates
 Geotechnical, Environmental & Hydrogeological Services • Materials Testing & Inspection
 21355 Hatcher Avenue, Ferndale, MI 48220
 Phone: (248) 399-2066 • Fax: (248) 399-2157
 www.mcdowassoc.com

Assistance League of Southeastern Michigan
 P.O. Box 80932
 Rochester, Michigan 48308-0932
 May 10, 2024
 Job No. 35774

Attention: Mrs. Sue Dobbstein
 Subject: Fire-Resistance Rating Existing Separation Wall
 440 South Street
 Rochester, Michigan

Dear Mrs. Dobbstein:
 In accordance with your request, McDowell & Associates conducted a site visit to the subject existing building on May 6, 2024. The purpose of the visit was to verify the fire-resistance rating for the separation wall within the building.

It is understood that the existing one-story building will be of mixed use for two different occupancies. Based on the information provided to McDowell & Associates, the front area will be used to store children's clothing, meeting supplies and used furniture for resale. The rear area will be occupied for lumber storage uses. It is further understood that your request is to verify the fire resistance for the existing wall separating the two areas.

The separated bearing wall was identified as a precast concrete wall consisting of ten foot (10') wide double tee panels. The panel thickness is six inches (6") and the ribbed section is twelve inches (12") in length and six and one-half inches (6.5") in width spaced five feet (5') on center.

We consulted the International Building Code (IBC) and Precast and Prestressed Concrete Design Handbook (PCI). Our findings are as follows.

The two occupancies can be classified as Moderate-Hazard Storage, Group S-1.
 As indicated in the IBC - Section 707.3.10, the fire barriers, fire walls or horizontal assemblies or combination thereof, separating a single occupancy into different fire areas shall have a fire-resistance rating of not less than three (3) hours for S-1. The fire barriers, fire walls or horizontal assemblies or combination thereof, separating fire areas of mixed occupancies shall have a fire-resistance rating of not less than the highest value for the occupancies under consideration. Based on the construction classification in IBC Section 601, the fire-resistance rating requirements for building elements is one (1) hour.

Mid-Michigan Office
 3730 James Savage Road, Midland, MI 48642
 Phone: (989) 496-3610 • Fax: (989) 496-3190

We assumed that the precast panels were cast of normal weight concrete and prepared by mixing limestone aggregate. The minimum equivalent thickness of cast in-place or precast concrete walls (load bearing or non-load bearing) for a fire resistance of three (3) hours is 5.7 inches.

It appears that the existing separation wall will meet the required fire-resistance rating for the proposed abovementioned occupancies. However, penetrations and joints between precast wall panels shall be protected if required by mortar or other approved materials to resist the passage of the fire for a time period not less than the required fire resistance of the wall.

The openings should be protected in accordance with the requirements of the IBC. The openings shall be limited to a maximum aggregate of twenty-five percent (25%) of the length of the wall and the maximum area of any single opening shall not exceed one hundred fifty-six square feet (156 ft²). We suggest that you discuss the opening protective requirements with specialist manufacturers or suppliers.

If you have any questions or if we can be of further assistance, please do not hesitate to call.

Very truly yours,
 McDOWELL & ASSOCIATES

Brian Biasutto
 Brian Biasutto, B.S., C.E.
 Director of CMT Services

Ihsan Aljawaheri
 Ihsan Aljawaheri, P.E.
 Staff Engineer

International Code Council Member
 Certification No. 8092469
 State of Michigan Registered Code Official and Inspector
 License No. INSP00487
 Individual Builders License
 No. 2101142151
 BB:IA/jb

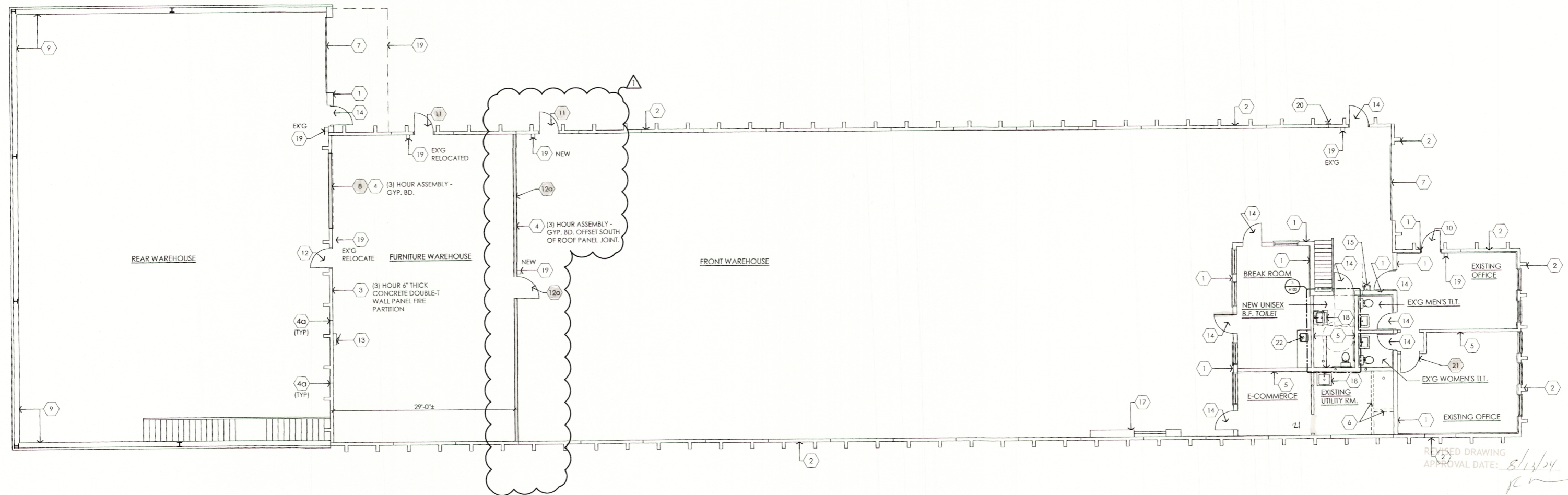


KEYED NOTES

- 1 EXISTING MASONRY WALL CONSTRUCTION
- 2 EXISTING PRECAST DOUBLE-T CONCRETE WALL PANELS (6" THICK)
- 3 EXISTING PRECAST CONCRETE DOUBLE-T FIRE PARTITION (3) HOUR RATED
- 4 NEW (3) HOUR RATED GYPSUM BOARD FIRE PARTITION
- 4a PROVIDE FIRE RATED SEALANT AT ALL VERTICAL JOINTS BETWEEN DOUBLE-T WALL PANELS - FLOOR TO CEILING
- 5 EXISTING GYPSUM BOARD/STUD PARTITIONS - INSTALL GYPSUM BOARD AS REQUIRED - PAINT
- 6 EXISTING STUD PARTITION TO BE REMOVED
- 7 EXISTING OVERHEAD DOOR
- 8 REMOVE EXISTING OVERHEAD DOOR
- 9 EXISTING INSULATED METAL WALL PANELS ON MASONRY BULKHEAD
- 10 EXISTING AL/GLASS DOOR
- 11 NEW EXTERIOR HOLLOW METAL DOOR/FRAME W/CLOSER, WEATHERSTRIPPING, THRESHOLD AND LOCKSET
- 12 EXISTING (3) HOUR HOLLOW METAL DOOR AND FRAME
- 12a NEW 3'-6" x 7'-0" x 1 1/2" (3) HOUR HOLLOW METAL DOOR AND FRAME WITH CLOSER
- 13 ELECTRICAL PANEL
- 14 EXISTING HOLLOW METAL DOOR/FRAME
- 15 EXISTING DRINKING FOUNTAIN
- 16 EXISTING LINE OF CANOPY
- 17 ELECTRICAL DISTRIBUTION CENTER
- 18 RELOCATE EXISTING UTILITY SINK AND TRIM TO NEW UTILITY ROOM AND CONNECT TO EXISTING SANITARY/HOT AND COLD WATER IN PARTITION
- 19 FIRE EXTINGUISHER LOCATION (N) NEW AND (E) EXISTING
- 20 INSTALL BREAK METAL OR COMPOSITE CEMENT VERTICAL CLOSURE OVER EXISTING DOUBLE-T JOINT - PROVIDE SEALANT AS NECESSARY
- 21 NEW WOOD DOOR IN HOLLOW METAL FRAME
- 22 EXISTING CABINET WITH PLASTIC LAMINATE COUNTER, SINK AND FAUCET

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 architect seal



1 Floor Plan
 1/8" = 1'-0"

issue / revision date
7-10-24 Administrative SPA
7-12-24 Owner Review
7-15-24 Bid Permit
8-5-24 Revisions

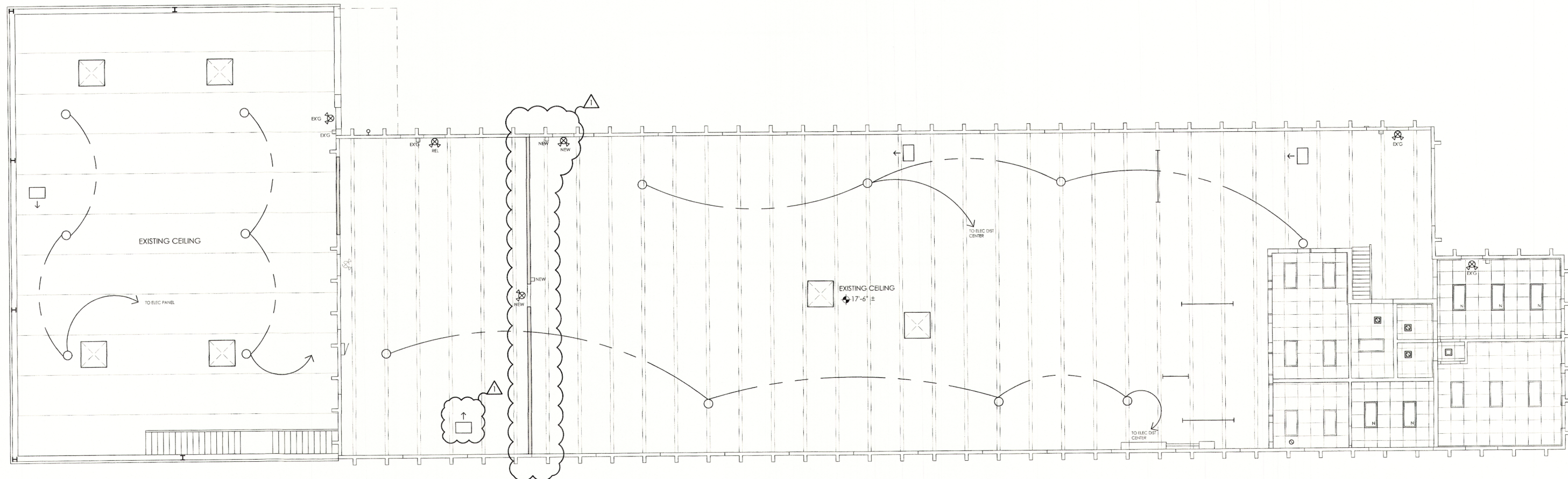
drawn by	checked by

project: Assistance League of S.E. Michigan Warehouse 440 South Street Rochester, MI
 sheet title: Floor Plan Keyed Notes Fire Partition Information

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 Southfield, Michigan 48076
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 www.dorchendomartin.com

job number	sheet number
24037	A101

REFLECTED CEILING PLAN LEGEND	
	EXISTING CEILING GRID 2x2' WITH PADS
	EXIT SIGN/EMERGENCY LIGHTING BATTERY BACKUP
	EXISTING EXIT SIGN/EMERGENCY LIGHTING BATTERY BACKUP TO BE RELOCATED
	EXISTING 2x4 FLUORESCENT LIGHT
	EXISTING EXHAUST FAN
	EXISTING EXHAUST FAN WITH LIGHT
	EXISTING FLUORESCENT LIGHT FIXTURE
	EXISTING PENDANT LIGHT
	EXISTING WALL MOUNTED LIGHT
	EXISTING SKYLIGHT
	NEW CEILING GRID
	RELOCATED SIGN/LIGHT
	NEW FLUORESCENT LIGHT
	NEW 2x4 FLUORESCENT LIGHT
	EXISTING SUSPENDED HEATING UNITS



issue / revision date
7-10-24 Administrative SPA
7-12-24 Owner Review
7-15-24 Bid Permit
8-5-24 Revisions


drawn by	checked by
Assistance League of S.E. Michigan Warehouse 440 South Street Rochester, MI	Reflected Ceiling Plan

project: sheet title:

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 Architects/Planners
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 Southfield, Michigan 48076
 (248) 557-1062
 www.dorchenmartin.com

job number	sheet number
24037	A102

1 Reflected Ceiling Plan
 1/8" = 1'-0"

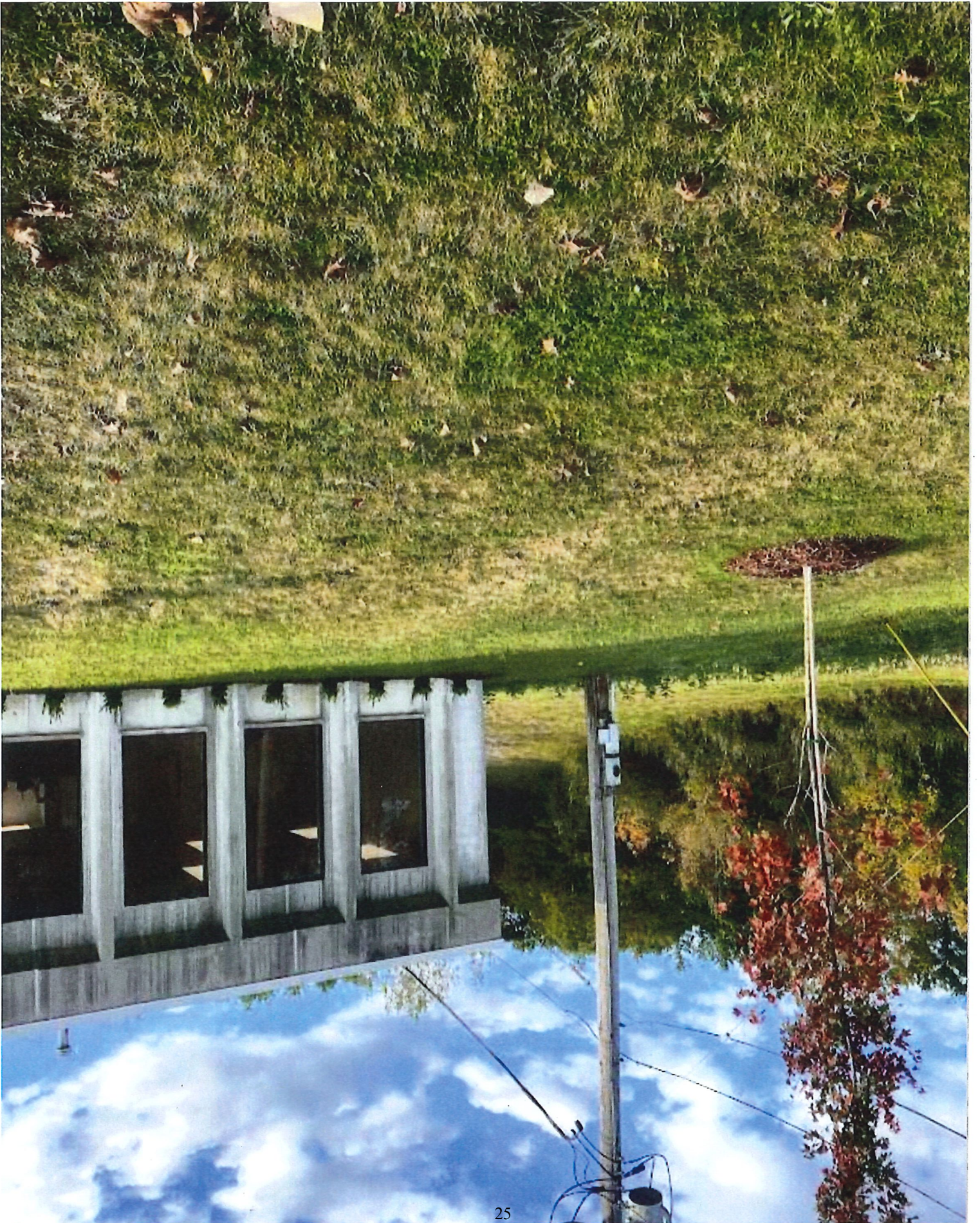


REVISED DRAWING
 APPROVAL DATE: 8/13/24











City of Rochester

400 Sixth Street
 Rochester, MI 48307
 P: (248) 651-9061
 F: (248) 651-2624
www.rochestermi.org

PLANNING COMMISSION SITE PLAN PROCEDURE GUIDE

The Rochester Zoning Ordinance requires site plan approval in a number of situations. This Procedure Guide is intended to assist you in processing a site plan. This guide does not replace nor supersede any provisions of the Zoning Ordinance or any other Code of Ordinance of the City. It is recommended that you obtain a copy of the Zoning Ordinance, as amended. The attached form must be submitted with your request for site plan review.

The Planning Commission will examine the impact of the proposed development on adjoining and nearby properties, persons and activities and will, therefore, be interested in the configuration of the new structures, durability and standards of design. The site plan submittal shall accurately depict the location, height, mass of buildings, grading plans and typical elevations and all other data required by Article 27 of the Zoning Ordinance. Site plans deemed to be incomplete may be returned by the city without placing them on the Planning Commission agenda or the Planning Commission may table (postpone) the site plan review without discussion. Final building plans are not required as part of the site plan submittal; however, a Building Permit cannot be issued except for the plans that conform to the site plan and final engineering approval. Site plan approval by the City does not include a finding of conformance with deed restrictions. If the site plan involves a need for variance from the Board of Appeals, the site plan should first be submitted to the Planning Commission so that the Board of Appeals may benefit from the findings of the Planning Commission. In such cases, the Planning Commission may, in its discretion, grant a site plan approval conditioned on Board of Appeals action. The Planning Commission may also refer the matter to the Board of Appeals without taking action on the proposed site plan.

DEADLINES

- **Site plan submittals must be received by the Permit Coordinator no later than 4:00 p.m., four (4) weeks prior to the next regular meeting of the Planning Commission.**
- **On items that have been previously considered by the Planning Commission, the revised submittals must be submitted to the Permit Coordinator no later than 4:00 p.m., three (3) weeks prior to the next regular meeting of the Planning Commission.**
- **The city will review the submitted documents and inform the applicant when it will be on the schedule for Planning Commission consideration. There are no set timelines for submittals, as they are dependent on thoroughness of the submitted documents and any revisions that are needed.**

Note: The Planning Commission normally meets the first Monday of each month at 7:00 p.m. in the Municipal Building, 400 Sixth Street. Please check the city website for the date of each meeting.

REQUIREMENTS

- **Provide all required documentation and appropriate fee(s) to the Permit Coordinator at jpeckens@rochestermi.org**
- **Provide 1 DIGITAL (flash drive) & 9 COPIES of the blueprint drawings of the site plan (pre-folded to ¼ size with the blueprint seal on the outside), including the completed application, any correspondence & written supporting documents.**

- Provide a check payable to the City of Rochester for the site plan/special exception/special project/rezoning submittal fee (see page 2 for appropriate fee amounts).

APPEARANCE IS REQUIRED:

APPLICANT OR A REPRESENTATIVE FOR THE APPLICANT MUST ATTEND THE PLANNING COMMISSION MEETING IN ORDER TO ANSWER ANY QUESTIONS BY THE COMMISSION MEMBERS. FAILURE OF THE APPLICANT OR APPLICANT REPRESENTATIVE TO ATTEND THE PLANNING COMMISSION MEETING MAY RESULT IN TABLING CONSIDERATION OF THE SITE PLAN OR DENIAL OF THE SITE PLAN.

SCHEDULE OF FEES:

Until all applicable fees have been paid in full, no action shall be taken on any application or appeal. The schedule of fees shall be as follows:

APPLICATION FOR:	FEE:
ZONING BOARD OF APPEALS	\$400
Administrative Processing Fee	\$100
Special Planning Commission Meeting	\$1500
REZONING APPLICATION	
Administrative Processing Fee	\$100
Rezoning Application, less than one acre	\$750
Rezoning Application, more than one acre	\$50 per additional each
SITE PLAN APPLICATION	
Administrative Processing Fee	\$100
Site Plan Review, less than one acre	\$1,250 first review, \$500 each review, thereafter, subject to \$500 resubmittal fee.
Site Plan Review, more than one acre	\$1,250 for 1st acre + \$50 per each additional acre, each review, thereafter, subject to \$500 resubmittal fee.
CONDOMINIUM PLAN APPLICATION	
Administrative Processing Fee	\$100
Condo Project Application, less than one acre	\$1,000 first review. Each review, thereafter, subject to \$500 resubmittal fee.
Condo Project Application, more than one acre	\$1,000 first review + \$50 per each additional acre, each review, thereafter, subject to \$500 resubmittal fee.

OTHER	
Special Exception Hearing Application	#758138 \$500
Special Project Application within a Potential Intensity Change Area (PICA)	\$500
Community / Traffic Impact Study Review	As billed by City Consultant

In addition to the aforementioned fees, the applicant shall be responsible for all necessary engineering costs incurred by the City in processing applications for rezoning and/or site plan approval. A cash deposit (as determined by Administration) shall be deposited by the applicant with the City before any such engineering costs are incurred. Thereafter, all engineering costs shall be deducted from said deposit as incurred from time to time. In the event that said deposit shall be insufficient to cover all such engineering costs, the applicant shall be required to deposit additional sums as determined by the City to be necessary to completely recover the remainder of said engineering costs prior to the continuation of such engineering services. An applicant's failure to deposit such additional sums shall result in a cessation of further engineering services or building inspections by the City and may constitute an abandonment of the application. Upon completion or abandonment, as provided for below, all remaining deposits on hand shall be refunded to the applicant.

Inactivity on the part of an applicant for a period of ninety (90) days or longer in the processing of a rezoning request and/or a site plan approval request, shall be deemed an abandonment of the application requiring submission of a new application and repayment of the above fees, unless prior approval of the applicable board or commission is obtained for a longer period of delay due to extenuating circumstances.

PLANNING COMMISSION - APPLICATION FOR APPROVAL OF SITE PLAN/SPECIAL EXCEPTION/SPECIAL PROJECT

Return to Permit Coordinator with check & required documents listed on page 1

Date Filed: 9/3/2025 Amount of Review Fee Paid : \$ 600⁰⁰

Approval of the site plan is hereby requested for the following parcel of land in the City of Rochester. This application is submitted with the required number of copies of the site plan and payment of the appropriate review fee. The checklist below has been completed to certify the data contained on the site plan. If the required data is not reflected in the site plan, the appropriate box has been checked and a detailed statement is attached explaining why the data is not provided. I understand that if my site plan is deemed to be incomplete, it may be returned by the city without being placed on the Planning Commission agenda or the Planning Commission my table (postpone) the site plan without discussion. By signing this application, the undersigned hereby grants full authority to the City of Rochester, its agents, employees, representatives and/or appointees to enter upon the undersigned lands and properties for the purpose of inspection and examination incidental hereto.

PROJECT COORDINATOR'S NAME: Assistance League

PROJECT COORDINATOR'S E-MAIL ADDRESS:

JYezaK1016@yahoo.com

PROJECT COORDINATOR'S PRIMARY PHONE NUMBER:

248 821 8257

1. Name of proposed development:

2. Location of property: _____ side of _____ Road, between

_____ and
_____ Roads.

3. Street address:

440 South St

4. The property is presently zoned as:

5. The total site area is

_____ acres(s).

6. Portion of total site being developed:

7. It is proposed the property will be developed as:

8. A Special Exception is being requested. Yes No.

9. Site Plan - Required Data: Check the appropriate line. If "not provided" line is checked, attach detailed explanation.

PROVIDED	NOT PROVIDED	DESCRIPTION
		a. Date, including revision.
		b. Plan scale of 1" equals 10', 1" = 40'
		c. North arrow.

		d. Inserted location sketch showing location of subject property in the mile section.
		e. The seal of one or more of the following: registered architect, registered civil engineer, registered land surveyor, registered landscape architect or registered community planner.
		f. Existing and proposed grades at all lot corners and catch basins, and at a plan grid interval of not more than fifty (50) feet along all lot lines, road center lines and on the site and beyond for at least fifty (50) feet. Any proposed change of more than twenty-four (24) inches in the existing grade shall require specific approval by the Planning Commission as part of a site plan. Highlight any grade changes in excess of 24".
		g. Existing building(s) and street(s) on site and within one hundred (100) feet of site.
		h. Center line and existing and proposed right-of-way lines of all streets and roads on property or adjoining roads or streets.
		i. Boundaries of subject property including distances and bearings.
		j. Proposed buildings and structures on property, including off street parking; walkways, walls, carports and trash receptacles; dimensions of improvements; and acceleration, deceleration and passing lanes, designation of fire lanes and/or other areas in which parking will be prohibited.
		k. Any proposed sidewalks or walkways within the right-of-way of adjoining roads or streets.
		l. Sufficient information describing the proposed use and occupancy of the premises to ascertain compliance with the use of regulations of the district.
		m. As applicable, number of dwelling units, number of bedrooms, number of off-street parking spaces per dwelling unit and per bedroom, percentage of land covered by buildings, total and usable floor areas for purposes of determining off-street parking requirements.
		n. Landscape plan including tree inventory. (Section 2800).
		o. Description of utilities including storm drainage; sewage disposal; electrical distribution; telephone and/or television system; natural gas distribution; exterior lighting; water distribution and source; fire hydrant locations; proposed method of solid waste storage, collection and disposal.
		p. The cover letter, signed by the owner and prospective developer holding an equitable interest in the property, shall include legal description and acreage of property; existing zoning classification and proposed zoning classification, if different; general description or proposed development; and estimation of timetable of development.

		<p>q. The site plan shall be accompanied by architectural sketches showing the proposed building elevations and maximum heights. The site plan package shall also include architectural sketches showing the relationships of the subject building to buildings located to the rear.</p> <p>1) Clearly demonstrate the impact of the proposed building height and bulk on neighboring buildings with "model", color photo or video display.</p>
		<p>r. As applicable, the site plan submittal shall be accompanied by an application form, furnished by the Administrative Office, for rezoning.</p>
		<p>s. Exterior lighting plan and design, with photometrics.</p>

10. Present Assistance League of Southeastern Michigan landowner:
 E-MAIL: alsemich@gmail.com
 Address: 204 S. Main
 City: Rochester State: MI Zip: 48307 Phone: 248-656-0414

11. Firm or individual requesting site plan approval:
Jana Yezak
 E-MAIL: JYezak1016@yahoo.com
 Address: 986 Churchill Cir
 City: Rochester State: MI Zip: 48307 Phone: 248 821 5357

Signature Jana C Yezak of ALSM Applicant
 Print Name Jana C Yezak Date 9/3/2025



City of Rochester

400 Sixth Street
Rochester, MI 48307
P: (248) 733-3700
F: (248) 733-3170
www.rochestermi.org

To: Honorable Planning Commission Members

From: Jeremy Peckens, Planning and Zoning Administrator

Date: 10/29/2025

RE: Façade Change – 215 S. Main

The purpose of this memo is to inform the Planning Commission that Main Street Billiards, located at 215 S. Main, has requested approval for a simple façade modification. The proposed change involves replacing the existing wood façade with stained cedar plank siding.

This modification is limited in scope and does not involve alterations to the building's structure, signage, or footprint. The intent is to refresh the building's exterior with a more durable and aesthetically pleasing material while maintaining compatibility with the surrounding area.

Please feel free to call me if you have any questions.

Respectfully submitted,

Jeremy Peckens, MPA
Planning & Zoning Administrator



Address: 400 Sixth Street, Rochester, MI 48307

Office Phone: (248) 733-3700 Ext. 356

Cell Phone: (286) 961-1044

Email: jpeckens@rochestermi.org

Website: www.rochestermi.org





City of Rochester

400 Sixth Street
 Rochester, MI 48307
 P: (248) 651-9061
 F: (248) 651-2624
www.rochestermi.org

PLANNING COMMISSION SITE PLAN PROCEDURE GUIDE

The Rochester Zoning Ordinance requires site plan approval in a number of situations. This Procedure Guide is intended to assist you in processing a site plan. This guide does not replace nor supersede any provisions of the Zoning Ordinance or any other Code of Ordinance of the City. It is recommended that you obtain a copy of the Zoning Ordinance, as amended. The attached form must be submitted with your request for site plan review.

The Planning Commission will examine the impact of the proposed development on adjoining and nearby properties, persons and activities and will, therefore, be interested in the configuration of the new structures, durability and standards of design. The site plan submittal shall accurately depict the location, height, mass of buildings, grading plans and typical elevations and all other data required by Article 27 of the Zoning Ordinance. Site plans deemed to be incomplete may be returned by the city without placing them on the Planning Commission agenda or the Planning Commission may table (postpone) the site plan review without discussion. Final building plans are not required as part of the site plan submittal; however, a Building Permit cannot be issued except for the plans that conform to the site plan and final engineering approval. Site plan approval by the City does not include a finding of conformance with deed restrictions. If the site plan involves a need for variance from the Board of Appeals, the site plan should first be submitted to the Planning Commission so that the Board of Appeals may benefit from the findings of the Planning Commission. In such cases, the Planning Commission may, in its discretion, grant a site plan approval conditioned on Board of Appeals action. The Planning Commission may also refer the matter to the Board of Appeals without taking action on the proposed site plan.

DEADLINES

- Site plan submittals must be received by the Permit Coordinator no later than 4:00 p.m., four (4) weeks prior to the next regular meeting of the Planning Commission.
- On items that have been previously considered by the Planning Commission, the revised submittals must be submitted to the Permit Coordinator no later than 4:00 p.m., three (3) weeks prior to the next regular meeting of the Planning Commission.
- The city will review the submitted documents and inform the applicant when it will be on the schedule for Planning Commission consideration. There are no set timelines for submittals, as they are dependent on thoroughness of the submitted documents and any revisions that are needed.

Note: The Planning Commission normally meets the first Monday of each month at 7:00 p.m. in the Municipal Building, 400 Sixth Street. Please check the city website for the date of each meeting.

REQUIREMENTS

- Provide all required documentation and appropriate fee(s) to the Permit Coordinator at jpeckens@rochestermi.org.
- Provide 1 DIGITAL (flash drive) & 9 COPIES of the blueprint drawings of the site plan (pre-folded to ¼ size with the blueprint seal on the outside), including the completed application, any correspondence & written supporting documents.

- Provide a check payable to the City of Rochester for the site plan/special exception/special project/rezoning submittal fee (see page 2 for appropriate fee amounts).

APPEARANCE IS REQUIRED:

APPLICANT OR A REPRESENTATIVE FOR THE APPLICANT MUST ATTEND THE PLANNING COMMISSION MEETING IN ORDER TO ANSWER ANY QUESTIONS BY THE COMMISSION MEMBERS. FAILURE OF THE APPLICANT OR APPLICANT REPRESENTATIVE TO ATTEND THE PLANNING COMMISSION MEETING MAY RESULT IN TABLING CONSIDERATION OF THE SITE PLAN OR DENIAL OF THE SITE PLAN.

SCHEDULE OF FEES:

Until all applicable fees have been paid in full, no action shall be taken on any application or appeal. The schedule of fees shall be as follows:

APPLICATION FOR:	FEE:
ZONING BOARD OF APPEALS	\$400
Administrative Processing Fee	\$100
Special Planning Commission Meeting	\$1500
REZONING APPLICATION	
Administrative Processing Fee	\$100
Rezoning Application, less than one acre	\$750
Rezoning Application, more than one acre	\$50 per each additional
SITE PLAN APPLICATION	
Administrative Processing Fee	\$100
Site Plan Review, less than one acre	\$1,250 first review, \$500 each review, thereafter, subject to \$500 resubmittal fee.
Site Plan Review, more than one acre	\$1,250 for 1st acre + \$50 per each additional acre, each review, thereafter, subject to \$500 resubmittal fee.
CONDOMINIUM PLAN APPLICATION	
Administrative Processing Fee	\$100
Condo Project Application, less than one acre	\$1,000 first review. Each review, thereafter, subject to \$500 resubmittal fee.
Condo Project Application, more than one acre	\$1,000 first review + \$50 per each additional acre, each review, thereafter, subject to \$500 resubmittal fee.

OTHER	
Special Exception Hearing Application	\$500
Special Project Application within a Potential Intensity Change Area (PICA)	\$500
Community / Traffic Impact Study Review	As billed by City Consultant

In addition to the aforementioned fees, the applicant shall be responsible for all necessary engineering costs incurred by the City in processing applications for rezoning and/or site plan approval. A cash deposit (as determined by Administration) shall be deposited by the applicant with the City before any such engineering costs are incurred. Thereafter, all engineering costs shall be deducted from said deposit as incurred from time to time. In the event that said deposit shall be insufficient to cover all such engineering costs, the applicant shall be required to deposit additional sums as determined by the City to be necessary to completely recover the remainder of said engineering costs prior to the continuation of such engineering services. An applicant's failure to deposit such additional sums shall result in a cessation of further engineering services or building inspections by the City and may constitute an abandonment of the application. Upon completion or abandonment, as provided for below, all remaining deposits on hand shall be refunded to the applicant.

Inactivity on the part of an applicant for a period of ninety (90) days or longer in the processing of a rezoning request and/or a site plan approval request, shall be deemed an abandonment of the application requiring submission of a new application and repayment of the above fees, unless prior approval of the applicable board or commission is obtained for a longer period of delay due to extenuating circumstances.

PLANNING COMMISSION - APPLICATION FOR APPROVAL OF SITE PLAN/SPECIAL EXCEPTION/SPECIAL PROJECT

Return to Permit Coordinator with check & required documents listed on page 1

Date Filed : 9/30/25 Amount of Review Fee Paid : \$ 1350 —

Approval of the site plan is hereby requested for the following parcel of land in the City of Rochester. This application is submitted with the required number of copies of the site plan and payment of the appropriate review fee. The checklist below has been completed to certify the data contained on the site plan. If the required data is not reflected in the site plan, the appropriate box has been checked and a detailed statement is attached explaining why the data is not provided. I understand that if my site plan is deemed to be incomplete, it may be returned by the city without being placed on the Planning Commission agenda or the Planning Commission my table (postpone) the site plan without discussion. By signing this application, the undersigned hereby grants full authority to the City of Rochester, its agents, employees, representatives and/or appointees to enter upon the undersigned lands and properties for the purpose of inspection and examination incidental hereto.

PROJECT COORDINATOR'S NAME: BILL HAHN JR

PROJECT COORDINATOR'S E-MAIL ADDRESS:

WHAHNUR@AUTOHAHNNETWORK.COM

PROJECT COORDINATOR'S PRIMARY PHONE NUMBER:

248.343.8568

1. Name of proposed development:
MAIN STREET BILLIARDS FACADE UPDATE/REPAIRS
2. Location of property: WEST side of ROCHESTER Road, between
2ND and
3RD Roads.
3. Street address:
209 - 215 S MAIN STREET
4. The property is presently zoned as:
CBD GENERAL BUSINESS
5. The total site area is
14,654 SF (MAIN STREET BILLIARDS) acres(s).
6. Portion of total site being developed:
FACADE
7. It is proposed the property will be developed as:
FACADE UPDATE/REPAIRS

8. A Special Exception is being requested. Yes No.

9. Site Plan - Required Data: Check the appropriate line. If "not provided" line is checked, attach detailed explanation.

PROVIDED	NOT PROVIDED	DESCRIPTION
		a. Date, including revision.
		b. Plan scale of 1" equals 10', 1" = 40'
		c. North arrow.

		d. Inserted location sketch showing location of subject property in the mile section.
		e. The seal of one or more of the following: registered architect, registered civil engineer, registered land surveyor, registered landscape architect or registered community planner.
		f. Existing and proposed grades at all lot corners and catch basins, and at a plan grid interval of not more than fifty (50) feet along all lot lines, road center lines and on the site and beyond for at least fifty (50) feet. Any proposed change of more than twenty-four (24) inches in the existing grade shall require specific approval by the Planning Commission as part of a site plan. Highlight any grade changes in excess of 24".
		g. Existing building(s) and street(s) on site and within one hundred (100) feet of site.
		h. Center line and existing and proposed right-of-way lines of all streets and roads on property or adjoining roads or streets.
		i. Boundaries of subject property including distances and bearings.
		j. Proposed buildings and structures on property, including off street parking; walkways, walls, carports and trash receptacles; dimensions of improvements; and acceleration, deceleration and passing lanes, designation of fire lanes and/or other areas in which parking will be prohibited.
		k. Any proposed sidewalks or walkways within the right-of-way of adjoining roads or streets.
		l. Sufficient information describing the proposed use and occupancy of the premises to ascertain compliance with the use of regulations of the district.
		m. As applicable, number of dwelling units, number of bedrooms, number of off-street parking spaces per dwelling unit and per bedroom, percentage of land covered by buildings, total and usable floor areas for purposes of determining off-street parking requirements.
		n. Landscape plan including tree inventory. (Section 2800).
		o. Description of utilities including storm drainage; sewage disposal; electrical distribution; telephone and/or television system; natural gas distribution; exterior lighting; water distribution and source; fire hydrant locations; proposed method of solid waste storage, collection and disposal.
		p. The cover letter, signed by the owner and prospective developer holding an equitable interest in the property, shall include legal description and acreage of property; existing zoning classification and proposed zoning classification, if different; general description or proposed development; and estimation of timetable of development.

		<p>q. The site plan shall be accompanied by architectural sketches showing the proposed building elevations and maximum heights. The site plan package shall also include architectural sketches showing the relationships of the subject building to buildings located to the rear.</p> <p>1) Clearly demonstrate the impact of the proposed building height and bulk on neighboring buildings with "model", color photo or video display.</p>
		<p>r. As applicable, the site plan submittal shall be accompanied by an application form, furnished by the Administrative Office, for rezoning.</p>
		<p>s. Exterior lighting plan and design, with photometrics.</p>

10. Present 205 SOUTH MAIN STREET, LLC landowner:

E-MAIL: WHAHNJR @ AUTOHAHNNETWORK.COM

Address:

500 SOUTH OPDYKE

City: PONTIAC State: MI Zip: 48341 Phone: 248-343-8568

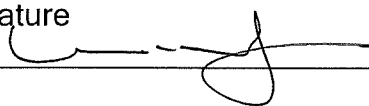
11. Firm or individual requesting site plan approval:
BILL HAHN JR

E-MAIL: WHAHNJR @ AUTOHAHNNETWORK.COM

Address:

500 S OPDYKE

City: PONTIAC State: MI Zip: 48341 Phone: 248-343-8568

Signature  of Applicant

Print Name WILLIAM E HAHN JR. Date 9/30/25



2 EXISTING FACADE
SCALE: N.T.S.

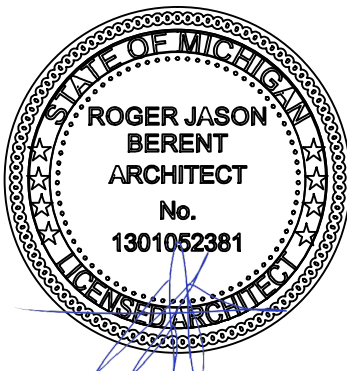
MAIN STREET BILLIARDS FACADE UPDATE

215 S MAIN ST, ROCHESTER, MI 48307



1 RENDERING OF PROPOSED UPDATES
SCALE: N.T.S.

Structural Engineer:	Architect: ROGER BERENT ARCHITECTS 6435 Apple Orchard Lane, Rochester Hills, MI 48306 248.800.6505 roger@rogerberent.com	Owner:	These drawings are instruments of service and as such are the property of the Architect. The Architect's drawings, specifications and related documents are not to be used by the Owner or others on other projects, for additions to this Project, or for completion of this Project by others.	Drawing Issue: No. Date Description 10.08.2025 RENDER	Project: 215 S. MAIN ST. Rochester, Michigan	Date: Scale: DRAWING TITLE:	Drawn By: Checked By:	Drawing Number: A-000 ARCHITECTURAL-000
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City of Rochester

400 Sixth Street
Rochester, MI 48307
P: (248) 651-9061
F: (248) 651-2624
www.rochestermi.org

To: Honorable Planning Commission Members

From: Jeremy Peckens, Planning and Zoning Administrator

Date: October 7, 2025

RE: Request of Site Plan Approval and Payment in Lieu of providing parking request of 2 additional spaces for 329 S. Main.

We are in receipt of a request from the new tenants of the former Sole Sisters, located at 329 S. Main. The applicant is requesting a Payment in lieu of Parking

The request for payment in lieu of parking, based on the use change to from general retail to a restaurant without alcohol on the first floor. This property is credited with 12 parking spaces, this change in use put them into a parking deficit of required parking by 2 spaces. They are now seeking a Special Exception for payment in lieu of providing for 2 spaces.

In reviewing their new floor plan layout, we determined that on the first floor, 2050 sq. feet of space must be designated as a restaurant by our Zoning Ordinance Standards. The calculation for required parking for a restaurant without alcohol is 1 parking space per 150 gross sq. ft. of area or 14 spaces.

The second floor of 2157 sq. feet of space has been designated by the owner of the building to be a Pilates studio putting it into the category of Health and physical fitness centers by our Zoning Ordinance Standards. The calculation for required parking for Health and physical fitness centers is 1 space per 4 persons based on maximum capacity, plus one space per employee on the largest employment shift. This capacity is based on the fire code, the upper floor is grandfathered in for 10 total spaces this includes the 1 on site.

This space is credited at a rate which is calculated at 1 space per 200 gross sq. feet of area (general retail) or 12 spaces this includes the 1 on site. That leaves the applicant with a 2 parking spaces deficit. The cost per space is \$1,000 and they are seeking the special exception for 13 spaces.

Staff is in support of their request; we think the use of this space fits nicely into our downtown retail/service offerings. We would suggest that you set a public hearing for their special exception request at your next available meeting.

Please feel free to call me if you have any questions.



City of Rochester

400 Sixth Street
 Rochester, MI 48307
 P: (248) 651-9061
 F: (248) 651-2624
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PLANNING COMMISSION SITE PLAN PROCEDURE GUIDE

The Rochester Zoning Ordinance requires site plan approval in a number of situations. This Procedure Guide is intended to assist you in processing a site plan. This guide does not replace nor supersede any provisions of the Zoning Ordinance or any other Code of Ordinance of the City. It is recommended that you obtain a copy of the Zoning Ordinance, as amended. The attached form must be submitted with your request for site plan review.

The Planning Commission will examine the impact of the proposed development on adjoining and nearby properties, persons and activities and will, therefore, be interested in the configuration of the new structures, durability and standards of design. The site plan submittal shall accurately depict the location, height, mass of buildings, grading plans and typical elevations and all other data required by Article 27 of the Zoning Ordinance. Site plans deemed to be incomplete may be returned by the city without placing them on the Planning Commission agenda or the Planning Commission may table (postpone) the site plan review without discussion. Final building plans are not required as part of the site plan submittal; however, a Building Permit cannot be issued except for the plans that conform to the site plan and final engineering approval. Site plan approval by the City does not include a finding of conformance with deed restrictions. If the site plan involves a need for variance from the Board of Appeals, the site plan should first be submitted to the Planning Commission so that the Board of Appeals may benefit from the findings of the Planning Commission. In such cases, the Planning Commission may, in its discretion, grant a site plan approval conditioned on Board of Appeals action. The Planning Commission may also refer the matter to the Board of Appeals without taking action on the proposed site plan.

DEADLINES

- Site plan submittals must be received by the Permit Coordinator no later than 4:00 p.m., four (4) weeks prior to the next regular meeting of the Planning Commission.
- On items that have been previously considered by the Planning Commission, the revised submittals must be submitted to the Permit Coordinator no later than 4:00 p.m., three (3) weeks prior to the next regular meeting of the Planning Commission.
- The city will review the submitted documents and inform the applicant when it will be on the schedule for Planning Commission consideration. There are no set timelines for submittals, as they are dependent on thoroughness of the submitted documents and any revisions that are needed.

Note: The Planning Commission normally meets the first Monday of each month at 7:00 p.m. in the Municipal Building, 400 Sixth Street. Please check the city website for the date of each meeting.

REQUIREMENTS

- Provide all required documentation and appropriate fee(s) to the Permit Coordinator at jpeckens@rochestermi.org
- Provide 1 DIGITAL (flash drive) & 9 COPIES of the blueprint drawings of the site plan (pre-folded to ¼ size with the blueprint seal on the outside), including the completed application, any correspondence & written supporting documents.

- Provide a check payable to the City of Rochester for the site plan/special exception/special project/rezoning submittal fee (see page 2 for appropriate fee amounts).

APPEARANCE IS REQUIRED:

APPLICANT OR A REPRESENTATIVE FOR THE APPLICANT MUST ATTEND THE PLANNING COMMISSION MEETING IN ORDER TO ANSWER ANY QUESTIONS BY THE COMMISSION MEMBERS. FAILURE OF THE APPLICANT OR APPLICANT REPRESENTATIVE TO ATTEND THE PLANNING COMMISSION MEETING MAY RESULT IN TABLING CONSIDERATION OF THE SITE PLAN OR DENIAL OF THE SITE PLAN.

SCHEDULE OF FEES:

Until all applicable fees have been paid in full, no action shall be taken on any application or appeal. The schedule of fees shall be as follows:

APPLICATION FOR:	FEE:
ZONING BOARD OF APPEALS	\$ 400
Administrative Processing Fee	\$ 100
Special Planning Commission Meeting	\$ 1500
REZONING APPLICATION	
Administrative Processing Fee	\$ 100
Rezoning Application, less than one acre	\$ 750
Rezoning Application, more than one acre	\$ 50 per each additional
SITE PLAN APPLICATION	
Administrative Processing Fee	\$ 100
Site Plan Review, less than one acre	\$ 1,250 first review, \$ 500 each review, thereafter, subject to \$ 500 resubmittal fee.
Site Plan Review, more than one acre	\$ 1,250 for 1st acre + \$ 50 per each additional acre, each review, thereafter, subject to \$ 500 resubmittal fee.
CONDOMINIUM PLAN APPLICATION	
Administrative Processing Fee	\$ 100
Condo Project Application, less than one acre	\$ 1,000 first review. Each review, thereafter, subject to \$ 500 resubmittal fee.
Condo Project Application, more than one acre	\$ 1,000 first review + \$ 50 per each additional acre, each review, thereafter, subject to \$ 500 resubmittal fee.

OTHER				
Special Exception Hearing Application		PAID		\$ 500
Special Project Application within a Potential Intensity Change Area (PICA)		OCT 7 - 2025		\$ 500
		CITY OF ROCHESTER		
Community / Traffic Impact Study Review	As	billed	by	City
	Consultant			

In addition to the aforementioned fees, the applicant shall be responsible for all necessary engineering costs incurred by the City in processing applications for rezoning and/or site plan approval. A cash deposit (as determined by Administration) shall be deposited by the applicant with the City before any such engineering costs are incurred. Thereafter, all engineering costs shall be deducted from said deposit as incurred from time to time. In the event that said deposit shall be insufficient to cover all such engineering costs, the applicant shall be required to deposit additional sums as determined by the City to be necessary to completely recover the remainder of said engineering costs prior to the continuation of such engineering services. An applicant's failure to deposit such additional sums shall result in a cessation of further engineering services or building inspections by the City and may constitute an abandonment of the application. Upon completion or abandonment, as provided for below, all remaining deposits on hand shall be refunded to the applicant.

Inactivity on the part of an applicant for a period of ninety (90) days or longer in the processing of a rezoning request and/or a site plan approval request, shall be deemed an abandonment of the application requiring submission of a new application and repayment of the above fees, unless prior approval of the applicable board or commission is obtained for a longer period of delay due to extenuating circumstances.

PLANNING COMMISSION - APPLICATION FOR APPROVAL OF SITE PLAN/SPECIAL EXCEPTION/SPECIAL PROJECT

Return to Permit Coordinator with check & required documents listed on page 1

Date Filed : 10-06-2025 Amount of Review Fee Paid : \$ 600⁰⁰

Approval of the site plan is hereby requested for the following parcel of land in the City of Rochester. This application is submitted with the required number of copies of the site plan and payment of the appropriate review fee. The checklist below has been completed to certify the data contained on the site plan. If the required data is not reflected in the site plan, the appropriate box has been checked and a detailed statement is attached explaining why the data is not provided. I understand that if my site plan is deemed to be incomplete, it may be returned by the city without being placed on the Planning Commission agenda or the Planning Commission my table (postpone) the site plan without discussion. By signing this application, the undersigned hereby grants full authority to the City of Rochester, its agents, employees, representatives and/or appointees to enter upon the undersigned lands and properties for the purpose of inspection and examination incidental hereto.

PROJECT COORDINATOR'S NAME: Peter Kalaj

PROJECT COORDINATOR'S E-MAIL ADDRESS:

----- FandPCompanies@gmail.com

PROJECT COORDINATOR'S PRIMARY PHONE NUMBER:

----- 586-604-6976

1. Name of proposed development: Rochester Pretzel & Candy Co.

2. Location of property: 329 S. Main side of Main St Road, between

Fourth and
Third Roads.

3. Street address: 329 S. Main Street Rochester, MI 48307

4. The property is presently zoned as: CBd

5. The total site area is 0.070 acres(s).

6. Portion of total site being developed: 2,050 sqft

7. It is proposed the property will be developed as:

Pretzel bakery shop

8. A Special Exception is being requested. Yes No.

9. Site Plan - Required Data: Check the appropriate line. If "not provided" line is checked, attach detailed explanation.

PROVIDED	NOT PROVIDED	DESCRIPTION
<input checked="" type="checkbox"/>		a. Date, including revision.
<input checked="" type="checkbox"/>		b. Plan scale of 1" equals 10', 1" = 40'
<input checked="" type="checkbox"/>		c. North arrow.

		d. Inserted location sketch showing location of subject property in the mile section.
✓		e. The seal of one or more of the following: registered architect, registered civil engineer, registered land surveyor, registered landscape architect or registered community planner.
✓		f. Existing and proposed grades at all lot corners and catch basins, and at a plan grid interval of not more than fifty (50) feet along all lot lines, road center lines and on the site and beyond for at least fifty (50) feet. Any proposed change of more than twenty-four (24) inches in the existing grade shall require specific approval by the Planning Commission as part of a site plan. Highlight any grade changes in excess of 24".
✓		g. Existing building(s) and street(s) on site and within one hundred (100) feet of site.
		h. Center line and existing and proposed right-of-way lines of all streets and roads on property or adjoining roads or streets.
✓		i. Boundaries of subject property including distances and bearings.
✓		j. Proposed buildings and structures on property, including off street parking; walkways, walls, carports and trash receptacles; dimensions of improvements; and acceleration, deceleration and passing lanes, designation of fire lanes and/or other areas in which parking will be prohibited.
✓		k. Any proposed sidewalks or walkways within the right-of-way of adjoining roads or streets.
✓		l. Sufficient information describing the proposed use and occupancy of the premises to ascertain compliance with the use of regulations of the district.
✓		m. As applicable, number of dwelling units, number of bedrooms, number of off-street parking spaces per dwelling unit and per bedroom, percentage of land covered by buildings, total and usable floor areas for purposes of determining off-street parking requirements.
✓		n. Landscape plan including tree inventory. (Section 2800).
	✓	o. Description of utilities including storm drainage; sewage disposal; electrical distribution; telephone and/or television system; natural gas distribution; exterior lighting; water distribution and source; fire hydrant locations; proposed method of solid waste storage, collection and disposal.
✓		p. The cover letter, signed by the owner and prospective developer holding an equitable interest in the property, shall include legal description and acreage of property; existing zoning classification and proposed zoning classification, if different; general description or proposed development; and estimation of timetable of development.

	✓	<p>q. The site plan shall be accompanied by architectural sketches showing the proposed building elevations and maximum heights. The site plan package shall also include architectural sketches showing the relationships of the subject building to buildings located to the rear.</p> <p>1) Clearly demonstrate the impact of the proposed building height and bulk on neighboring buildings with "model", color photo or video display.</p>
✓		<p>r. As applicable, the site plan submittal shall be accompanied by an application form, furnished by the Administrative Office, for rezoning.</p>
	✓	<p>s. Exterior lighting plan and design, with photometrics.</p>

10. Present Peter Halaig (F&P Companies) landowner:

E-MAIL: fandpcompanies@gmail.com

Address: 300 Camelot way Rochester, MI 48306

City: Rochester State: MI Zip: 48306 Phone: 586-103-6678

11. Firm or individual requesting site plan approval:

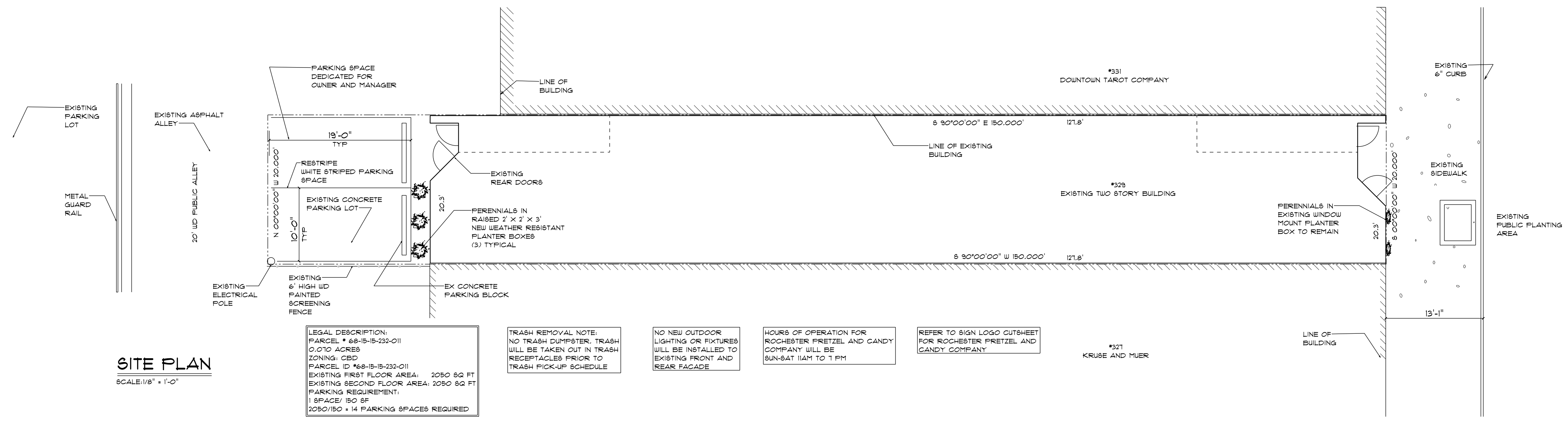
E-MAIL: fandpcompanies@gmail.com

Address: 329 S Main St

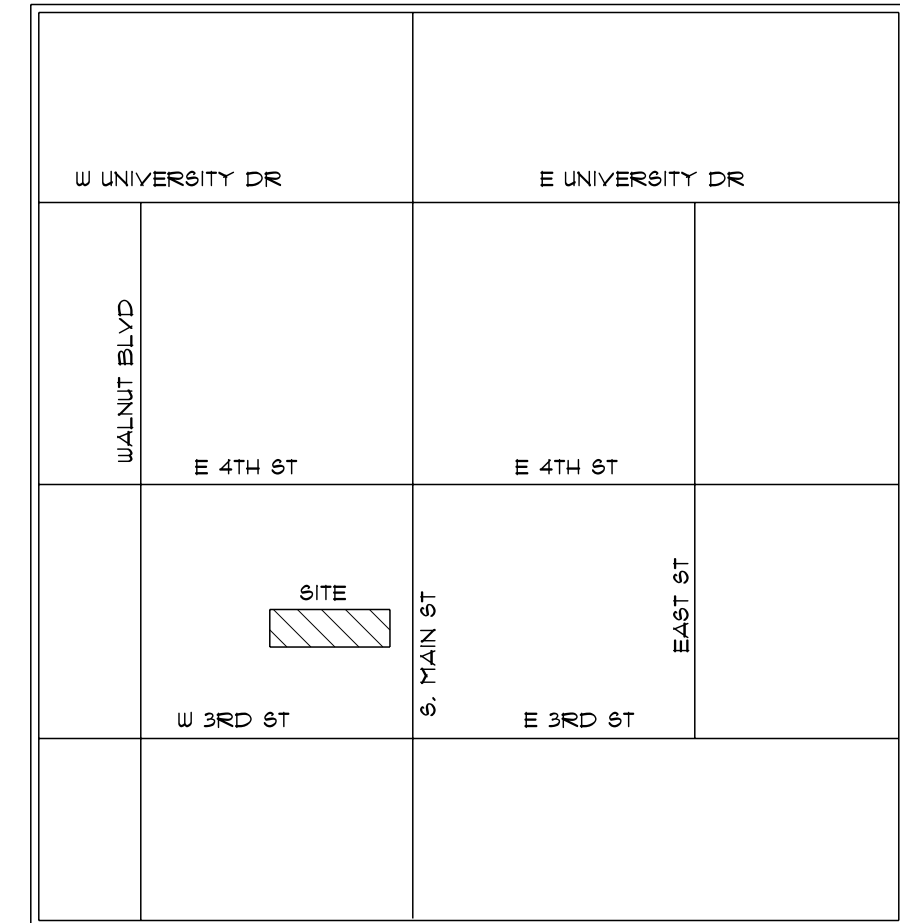
City: Rochester State: MI Zip: 48306 Phone:

Signature Peter Halaig of Applicant

Print Name Peter Halaig Date 10-06-2025



SITE PLAN
SCALE: 1/8" = 1'-0"



LOCATION MAP
SCALE: NO SCALE

LEGAL DESCRIPTION:
PARCEL # 69-15-15-232-011
0.070 ACRES
ZONING: CBD
PARCEL ID #69-15-15-232-011
EXISTING FIRST FLOOR AREA: 2050 SQ FT
EXISTING SECOND FLOOR AREA: 2050 SQ FT
PARKING REQUIREMENT:
18 SPACE/ 150 SF
2050/150 = 14 PARKING SPACES REQUIRED

TRASH REMOVAL NOTE:
NO TRASH DUMPSTER. TRASH WILL BE TAKEN OUT IN TRASH RECEPTACLES PRIOR TO TRASH PICK-UP SCHEDULE

NO NEW OUTDOOR LIGHTING OR FIXTURES WILL BE INSTALLED TO EXISTING FRONT AND REAR FACADE

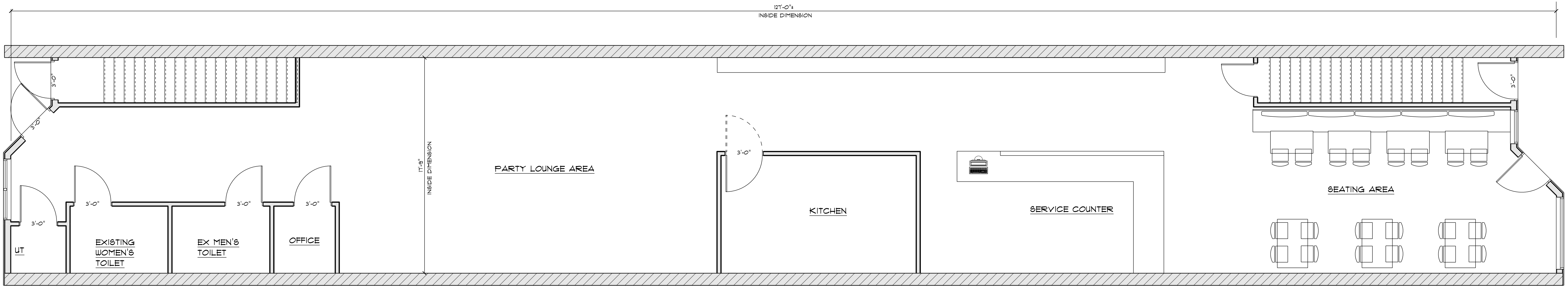
HOURS OF OPERATION FOR ROCHESTER PRETZEL AND CANDY COMPANY WILL BE SUN-SAT 11AM TO 1 PM

REFER TO SIGN LOGO CUTSHEET FOR ROCHESTER PRETZEL AND CANDY COMPANY

PROPOSED USE OF PROJECT:
EXISTING SOL SISTERS STORE IS TO BE RENOVATED WITH A PARTIAL INTERIOR REMODEL AND ALTERATION INTO A NEW PRETZEL AND CANDY STORE

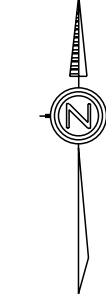
THE EXISTING SECOND FLOOR IS A PILATES STUDIO

EXISTING FRONT FACADE WILL ONLY BE REPAINTED TO MATCH COMPANY LOGO COLORS AND VINYL AWNING RECOVERING



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

S. MAIN ST 100' R.O.W.



POLYARCH INC.
44045 N. GRATIOT AVE.
CLINTON TWP., MI 48036
(313) 466-4669, 4150 (F) 313-466-1859

ENGINEER:
ROBERT ALAN WALZ
ENGINEER
NO. 6201026704
PROFESSIONAL ENGINEER

CLIENT: ROCHESTER PRETZEL & CANDY CO.
379 S. MAIN ST
ROCHESTER, MI

PROJECT: INTERIOR ALTERATION OF EXISTING BUILDING FOR NEW PRETZEL STORE

DATE: 10-6-25
PROJECT NO.: 25-112
DRAWN BY: EKH
CHECKED BY: RAW
REVISION DATE:

SHEET •
A-1



MCKENNA

October 23, 2025

Planning Commission
City of Rochester
400 Sixth Street
Rochester, MI 48307

Subject: Sterling Wealth Solutions/1129 N. Main Street; Preliminary Plan Review; site plan dated recd. by City on 10/9/2025.

Dear Commissioners:

At the City's request we have reviewed a proposal from Todd Sterling to convert an existing single-family residential dwelling into an office. The subject site is located on the southwest corner of N. Main and Ferndale Avenue and is zoned O-2 (Restricted Office District).

Based on the description, the applicant proposes to operate a financial/investment consulting office. Business/administrative offices and professional offices are permitted by right in the district per Section 1501 (1) and (2).



Source: Google Maps

This preliminary review is to ensure adequate information has been submitted for the plan to be forwarded to Planning Commission to set a date for its hearing and does not constitute a complete site plan review.

HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

☎ 248.596.0920
✉ 248.596.0930
MCKA.COM

Communities for real life.



REVIEW COMMENTS

The comments below are intended to provide a general summary of the project and any missing/required information is noted in underlined comments. Some of the information noted below is on a mortgage survey which is not an acceptable document for site plan review. ***The information must be on the site plan sheet.***

1. The plan proposes replacement of the existing small, covered porch on the Main Street façade with a fully covered porch extending the width of the dwelling. A new ADA accessible ramp is also shown abutting the porch.
2. Property line dimensions must be noted on the site plan sheet along with existing/proposed setbacks from property lines.
3. Note width of existing driveway since it is intended as the parking area to serve the office use.
4. Note width of all existing sidewalks along street frontages and the sidewalk connectors on the site. A new 3' wide sidewalk connector is proposed from the driveway to the ramp.
5. Based on the site plan notes, the site requires a total of 4 parking spaces for 1,064 sq. ft of usable floor area on the main floor. Parking for office uses is based on gross floor area, not usable floor area. Parking calculations must be revised to note parking for the lower level as storage and the upper-level as office. The site will therefore require a total of 7 parking spaces.
6. The plan only notes a 2-car garage. All 7 required spaces must be clearly shown and striped on the plans in accordance with the Ordinance. The applicant will need to add additional pavement to the site and has ample room on the site to comply. The subject site abuts R-1 one-family residential district to the west, across the alley. Per Section 2404 (4), parking lots contiguous with a residential district on the same block, must maintain a minimum 10-foot setback from the side street
7. Note location of barrier free accessible parking space in compliance with ADA standards.
8. A floor plan has been provided only for the main level. A plan notes that the lower and upper-levels are "not in scope". However, these were previously used as part of the dwelling. Therefore, an existing floor plan for these areas must be provided. Since the upper-level is to remain unchanged, it is considered as usable space and cannot be exempt from parking.
9. The existing structure is constructed of brick, and the applicant is proposing to construct the porch and ramp in a manner that compliments the existing architecture of the building.
10. Add a note on proposed method of trash removal to the plans.
11. The applicant has submitted a photometric plan and manufacturer's cut sheet detail indicating compliance with the Ordinance standards. The fixtures on the garage must be limited to 100 watts per the ordinance.
12. The plan notes that existing landscaping is to remain and no new landscaping is proposed.



13. Note location and design of proposed signage for the business.

RECOMMENDATION

The proposal calls for the adaptive reuse of an existing structure that has frontage onto a major thoroughfare. The applicants' proposed use and improvements would still maintain the overall residential character of the site. Therefore, we recommend that the Planning Commission place the above-mentioned plan on the next available agenda for public hearing and consideration of site plan and special exception approval, subject to the submission of a complete revised site plan set addressing all of the issues noted.

Respectfully,
McKENNA

Ms. Vidya Krishnan
Senior Principal Planner

Cc: Nik Banda
Jeremy Peckens
Jeff Kragt
Rose McKinney

October 7, 2025

Proposed Office

1129 N. Main St

Rochester, MI 48307

PROPERTY DESCRIPTION:

Lot 7; WOODWARD HEIGHTS, a Sub-division of part of the N.E. 1/4 of Section 10, Village of Rochester (now City of Rochester), Oakland County, Michigan, as recorded in Liber 23 of Plats, Page 30 of Oakland County Records.

Acreage: 0.33

Zoning: O-2 Restricted Office (as currently zoned and will maintain this zoning)

This property, from information provided by the previous owners, was originally reclassified to O-2 zoning back in the 1960's. Dr. Guerson, a dentist, bought it with the intention of developing it into his dental office at that time. For unknown reasons, he never did. Instead, he moved his family into it. I purchased it from his sons, who grew up in this house.

At heart I'm a preservationist. In my opinion, if I didn't purchase this property, another party would have, and most likely demolished it.

My proposed plan is designed to honor the legacy of Dr. Guerson and his family as well as honoring the neighborhood. I plan on doing this by keeping the building mostly as is, with a few changes for ADA compliance and the addition of a front, covered porch to enhance curb appeal from the front elevation facing Main Street. My goal is to maintain the integrity of the neighborhood behind me and keep the business aspects of the building to the front, facing Main Street. In doing so I aim to have minimal impact on the neighbors. I love the trees and greenery on the property and will keep them intact with no subtractions and will have few additions to the front along the ADA ramp to beautify the new structure and continue to enhance the charm of the property from both adjacent streets.

Because of the limitations of outdoor construction and landscaping in the coming winter months, I hope to have this project completed by the summer of 2026.

About Me and Sterling Wealth Solutions:

I started my business in the Los Angeles area, but moved back to Michigan, my roots, in 2013 to raise my children. We moved to Oakland Twp, to be close to my sister and her family. We chose our home, so we'd be in the Rochester School District, one of the pre-eminent School Districts in the state. It was important for us to have our children grow up with Midwestern values and to know their grandparents, aunts, uncles and cousins and to have a world class education in the Rochester Community Schools.

Personal Maxim:

"Leave It Better"

Leave any person, place or situation better than you found it.

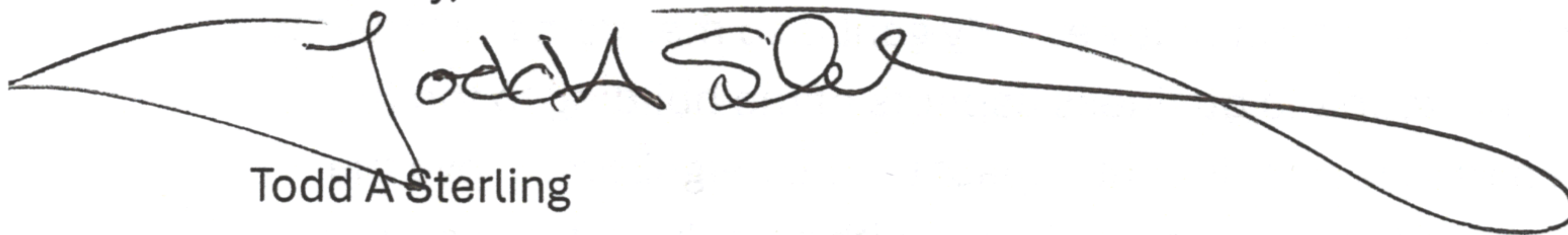
In a business sense, this means making sure whoever comes to our office leaves better off for having met us, regardless of whether they do business with us or not. We help any way we can, whether it's giving them a better understanding of how investments work, or simply being someone to bounce ideas off making sure they're on the right track.

We don't have investment minimums.

If you do the right thing every time, advise everyone like they're your mom, it all comes back.

Thank you all for your consideration and your expertise,

Sincerely,

A handwritten signature in black ink that reads "Todd A Sterling". The signature is written in a cursive style with a long, sweeping underline that extends to the right.

Todd A Sterling

Sterling Wealth Solutions

Owner

Sterling Wealth Solutions

1129 N. Main St.
Rochester, MI 48307

Zoning Classification
O-2-RESTRICTED OFFICE
Proposed Building Use
BUSINESS

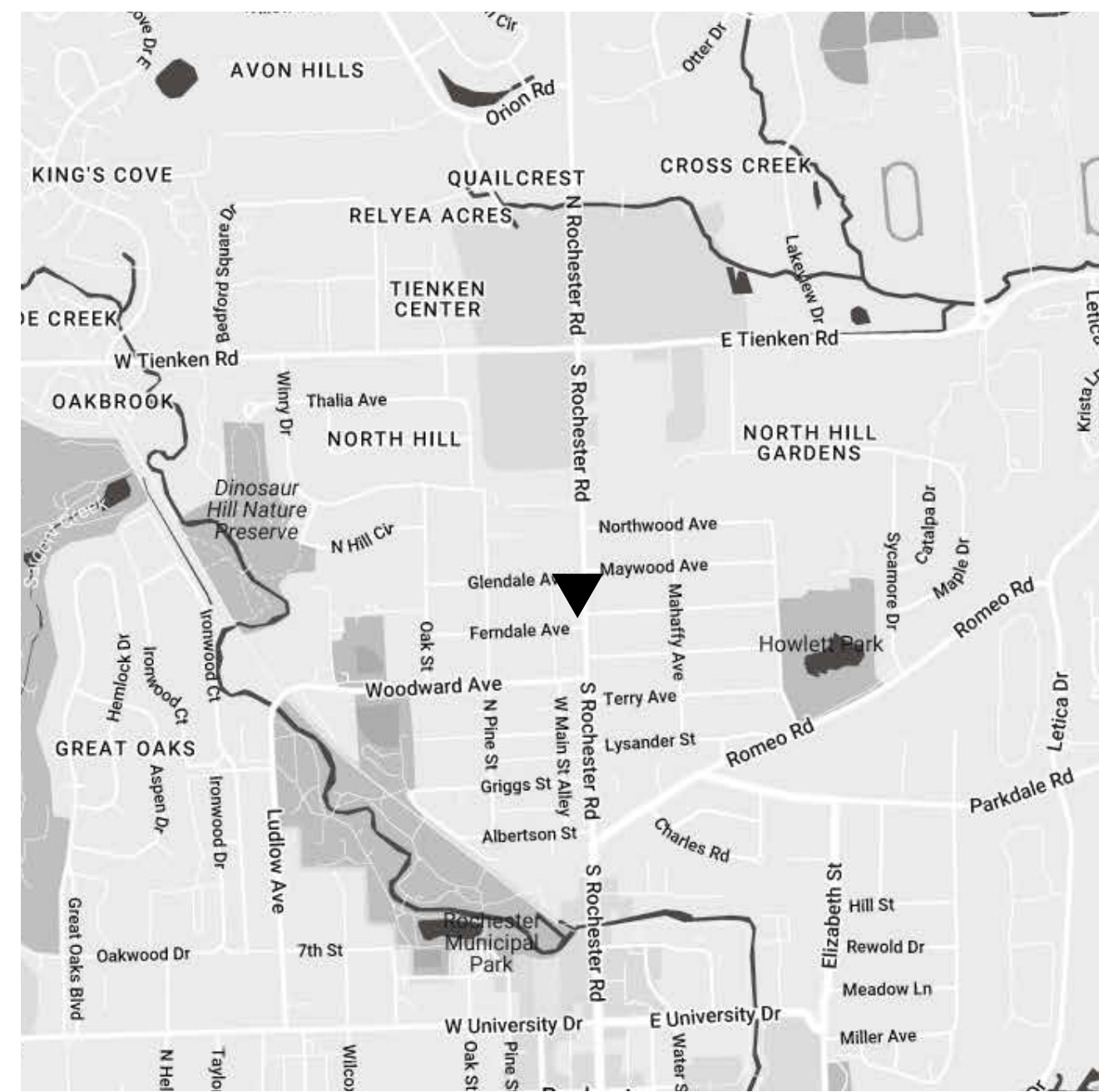
Gross Square Footage
LOWER LEVEL - UNFINISHED = 960 SF
MAIN LEVEL - OFFICE = 1,064 SF
SECOND LEVEL - STORAGE = 514 SF
TOTAL SF = 2,538 SF
TOTAL OFFICE SF = 1,064 SF

Parking Requirements
MAIN LEVEL - OFFICE = 1,064 SF
REQUIRED PARKING = 4.26 SPACES
CURRENT LOT HAS 4 SPACES GRANDFATHERED-IN

Lot Coverage (Existing)
LOT SIZE = 14,550 SF
LOT COVERAGE = 1,768 SF
12%

Occupancy
OFFICE SF = 1,064 SF
BUSINESS OCC. LOAD = 100 SF
MAX. OCCUPANCY = 10 OCCUPANTS

Lot Coverage (Proposed)
LOT SIZE = 14,550 SF
LOT COVERAGE = 1,918 SF
13%



3D Massing - Northeast View



3D Massing - Southeast View

OakStreet
DESIGN

1135 N. Oak St.
Rochester, MI 48307
jenna@oakstreetdesign.com
Phone: (248) 891-1629

Contractor Address
City, State XXXXX
Contractor Email
Contractor Phone Number

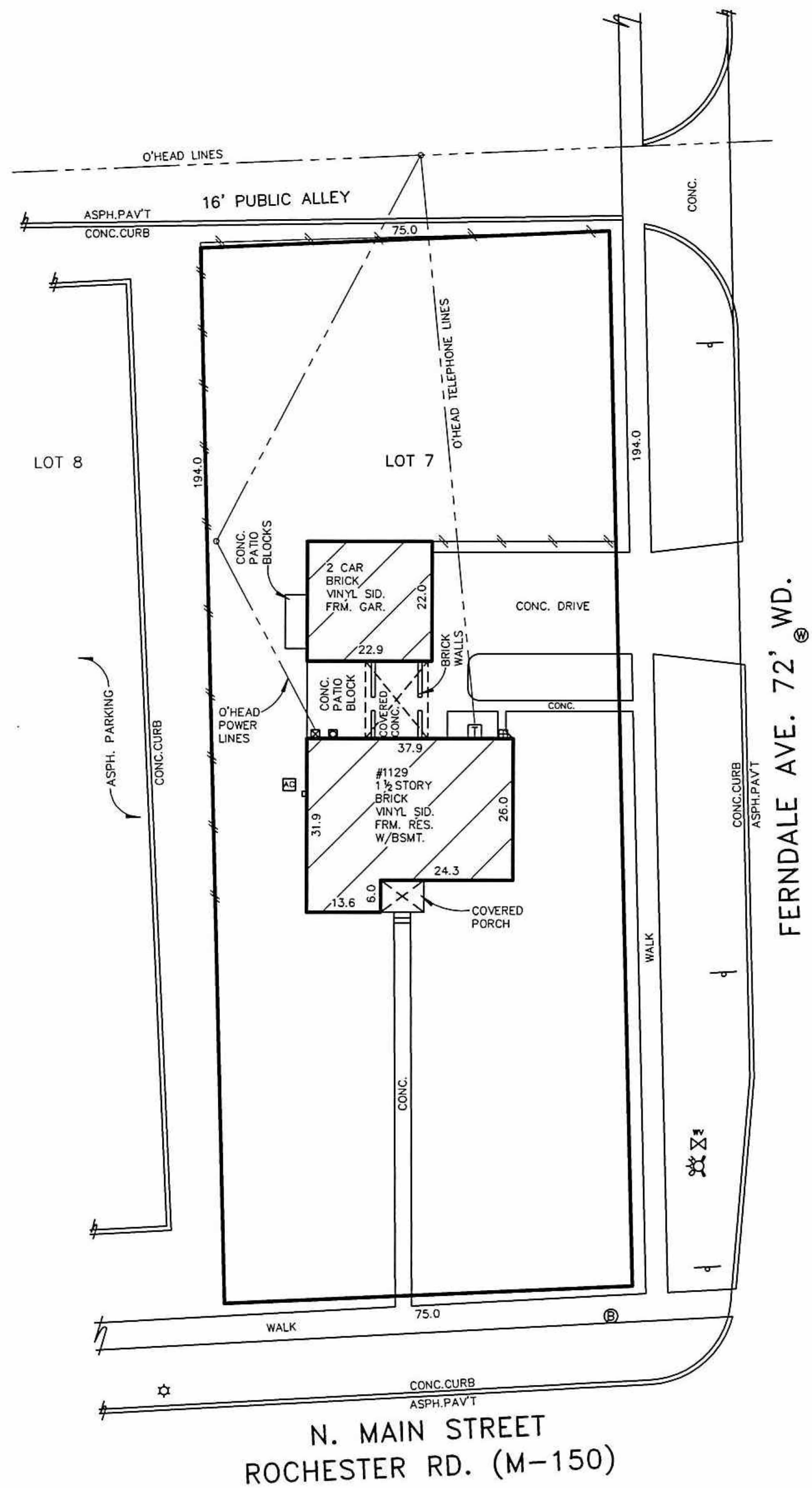
Contractor Information

Sterling Wealth Solutions
1129 N. Main St. | Rochester, MI 48307

PLANNING MTG. 11/3/2025

COVER SHEET

CS-1



CERTIFIED TO: FIRST AMERICAN TITLE INSURANCE COMPANY

APPLICANT: TODD A. STERLING

PROPERTY DESCRIPTION:

Lot 7; WOODWARD HEIGHTS, a Sub-division of part of the N.E. 1/4 of Section 10, Village of Rochester (now City of Rochester), Oakland County, Michigan, as recorded in Liber 23 of Plots, Page 30 of Oakland County Records.

LEGEND

- ⊠ ELECTRIC METER
- ⊡ WATER METER
- ⊞ TELEPHONE BOX
- ⊞ GAS METER
- ⊞ LIGHTPOST/LAMP POST
- ⊞ BELL SYSTEMS MANHOLE
- ⊞ SANITARY MANHOLE
- ⊞ FIRE HYDRANT
- ⊞ WATER VALVE
- ⊞ WATER GATE MANHOLE
- ⊞ SINGLE POST SIGN

We certify to First American Title Insurance Company that we have inspected the property as shown (the "property") for purposes of a purchase to be received by Todd A. Sterling from the Bank and further certify that: (i) buildings, improvements, and parking area are located on the Property as shown; (ii) locations for all existing buildings, improvements, and parking area are within the boundaries of the Property and do not encroach on any adjoining property, nor do the building, improvements or parking areas on any adjoining property encroach upon the Property; (iii) all easements, rights-of-way and other similar encumbrances creating rights in, on, over, under, across or through the Property, or benefiting or burdening the Property, are noted and located on the survey and are identified by Liber and Page of recording of the instruments creating them (as taken from First American Title Insurance Company, Commitment No. 1026430 (Dated 2/19/2025). Kem-Tec & Associates makes no guarantee of any non-recorded easements, rights-of-way or encumbrances which would not shown on a title search.



ANTHONY T. SYCKO, JR.
PROFESSIONAL SURVEYOR No. 47976

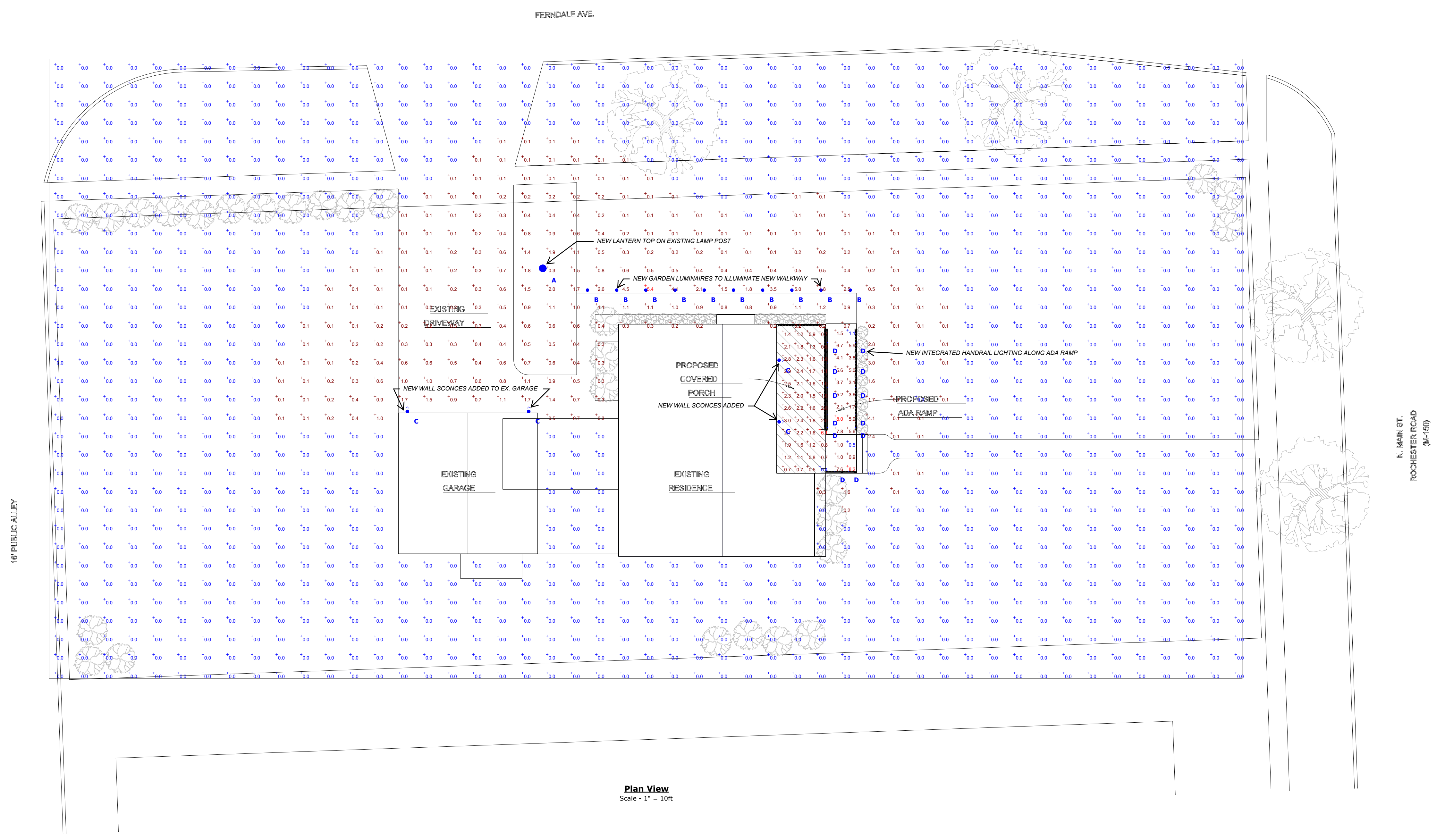
THIS SURVEY DRAWING IS VOID IF THE PROFESSIONAL SEAL IS NOT IN BLUE INK.

KEM-TEC PROFESSIONAL ENGINEERING, SURVEYING & ENVIRONMENTAL SERVICES
A GROUP OF COMPANIES
Eastpointe Detroit Ann Arbor Grand Blanc
(800) 265.7222 (313) 758.0677 (734) 994.0888 (888) 694.0001
FAX: (588) 772.4048 FAX: (588) 772.4048 FAX: (734) 994.0687 FAX: (810) 694.9955
www.kemtecgroupofcompanies.com

PREPARED FOR: FIRST AMERICAN TITLE INSURANCE COMPANY

DATE: 3/19/2025	JOB #: 25-00522
SCALE: 1"=20'	REV.:
DRW. BY: TJB	REV.:

Sheet Index		DRAWING INDEX KEY:	ISSUED FOR:
No.	Title	<input type="checkbox"/> NOT ISSUED <input type="checkbox"/> PREVIOUSLY ISSUED <input checked="" type="checkbox"/> ISSUED <input checked="" type="checkbox"/> REFERENCED	PLANNING-MTG.
CS-1	COVER SHEET		
PII-101	PHOTOMETRIC PLAN		
PII-102	PHOTOMETRIC PLAN		
PII-103	PHOTOMETRIC PLAN		
A-1	SITE PLAN & LANDSCAPING		
A-2	EXISTING FLOOR PLANS & ELEVATIONS		
A-3	PROPOSED FLOOR PLANS		
A-4	PROPOSED ELEVATIONS		



Plan View
 Scale - 1" = 10ft

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overall	+	0.1 fc	5.4 fc	0.0 fc	N/A	N/A
Porch	+	1.7 fc	6.1 fc	0.4 fc	15.3:1	4.3:1
Ramp	+	4.5 fc	8.0 fc	1.1 fc	7.3:1	4.1:1
Ramp Landing	+	3.2 fc	8.2 fc	0.5 fc	16.4:1	6.4:1

Schedule								
Symbol	Label	QTY	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power
	A	1	Visual Comfort	8254EN3-68	One Light Outdoor Post Lantern	879	0.9	9.5
	B	10	Bega	B55030	Garden Luminaire With Earth Spike	245	0.9	2.5
	C	4	Visual Comfort	8753-34	One Light Outdoor Wall Lantern, Sconce	879	0.9	9.5
	D	12	Wagner	LULF30K705	R&B Wagner - Hand rail light. Product ID: LULF30K705 One LED	94	0.9	1.95

General Note

- SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2019. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT CONTROLS@GASSERBUSH.COM OR 734-266-6705.

Alternates Note

THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

Drawing Note

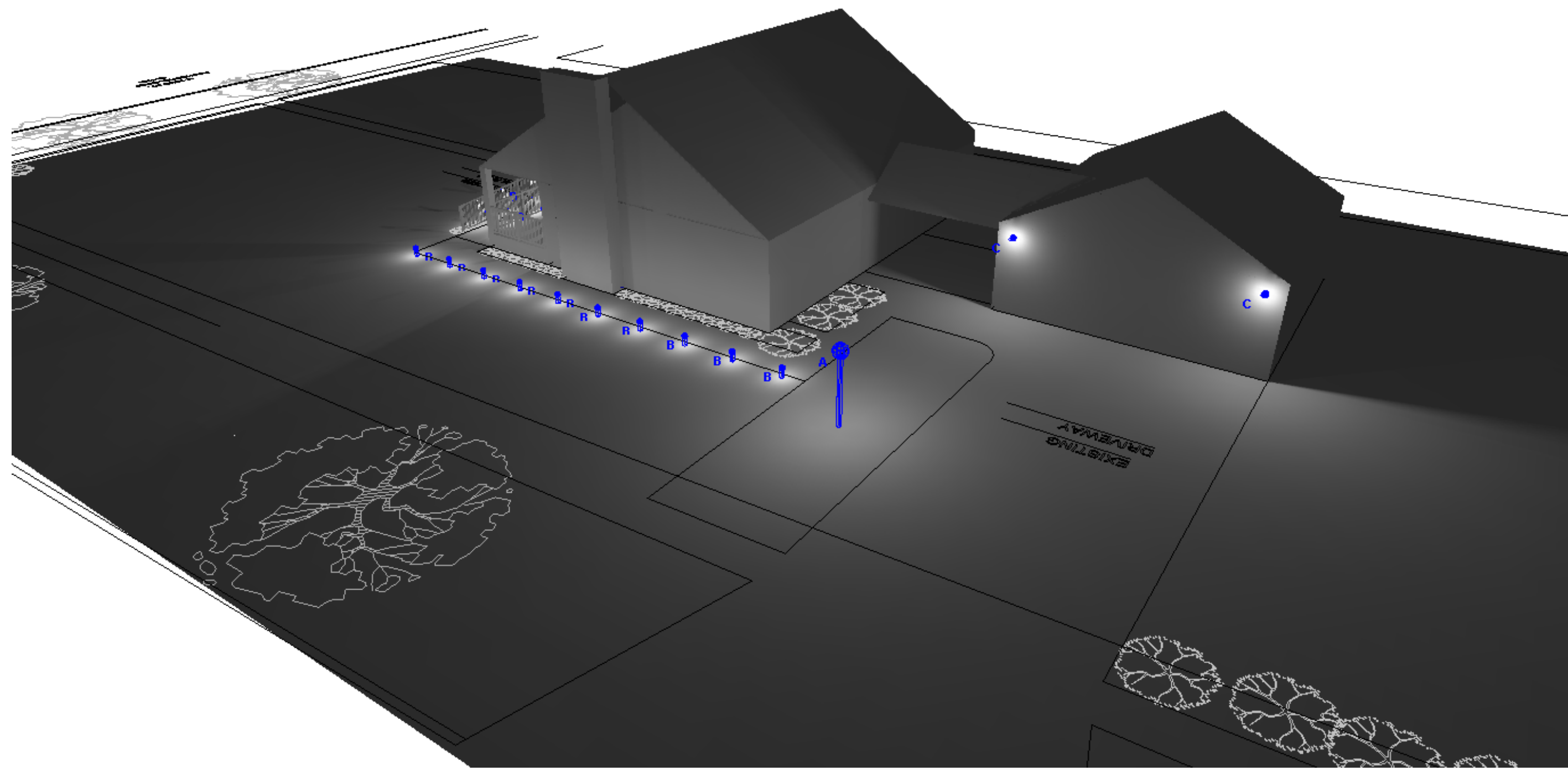
THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Ordering Note

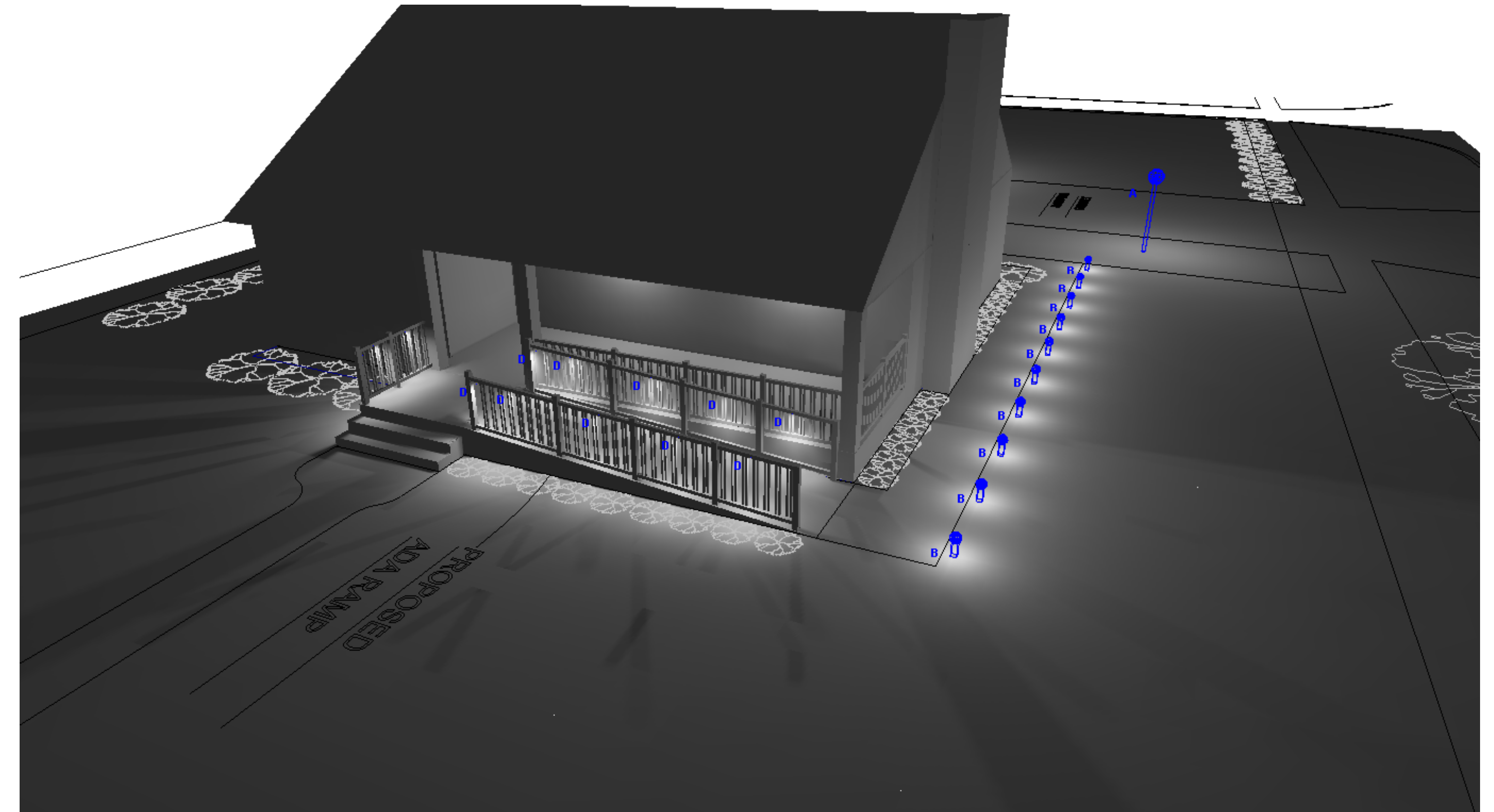
FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705

Mounting Height Note

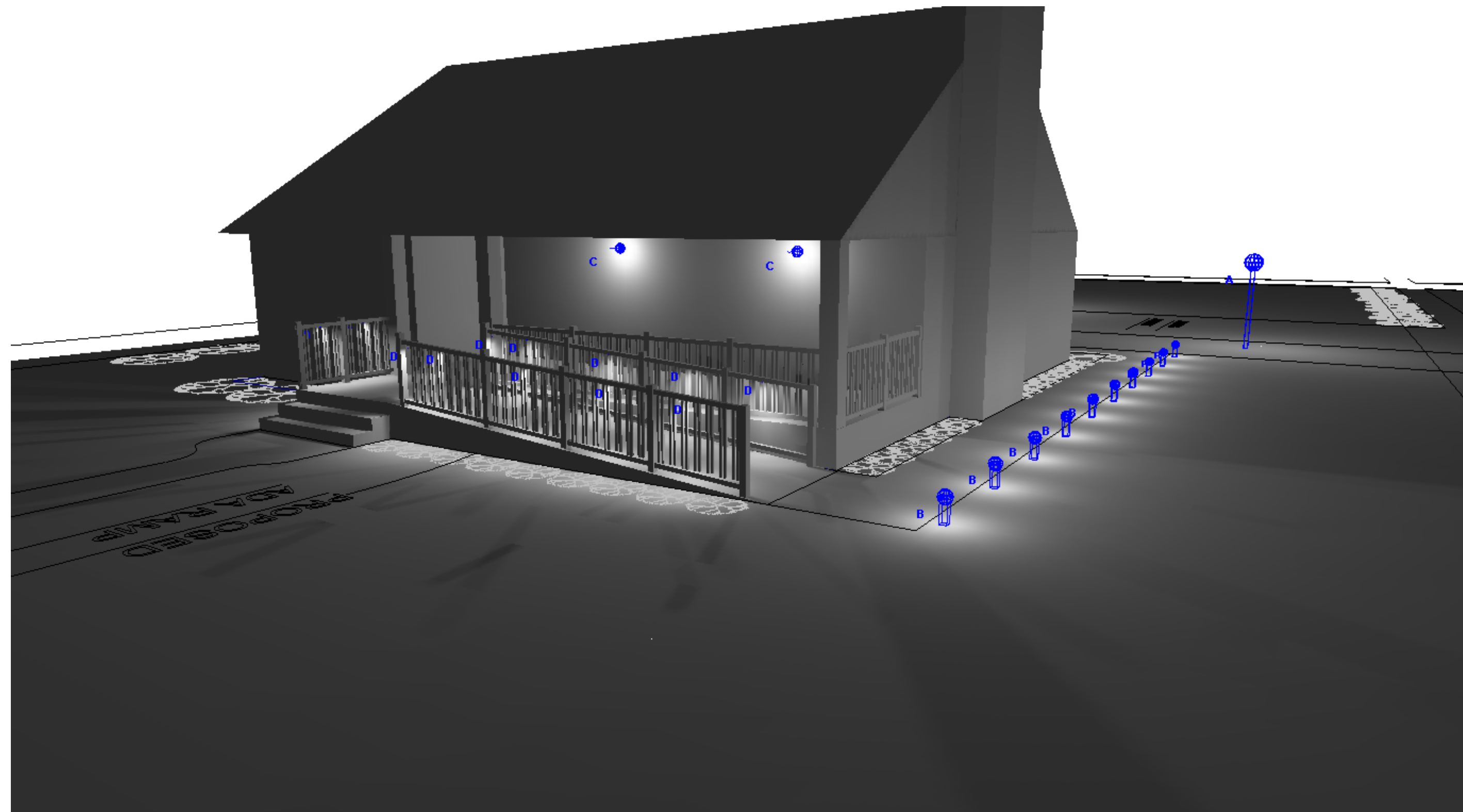
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.



View #1



View #3



View #2

General Note

1. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

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Alternates Note

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Drawing Note

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Ordering Note

FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705

Mounting Height Note

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Garden luminaire with earth spike - Unshielded - 12V AC

BEGA

Application
Accent luminaires for the private home and garden. These unshielded luminaires create a pleasant light effect and are provided with an earth spike for flexible installation as design parameters change over time. Low voltage magnetic transformer required for operation.

Materials
Hand-blown three-ply opal glass
High temperature silicone gasket
Composite installation housing
NRTL listed to North American Standards, suitable for wet locations
Protection class IP 65

Weight: 2.6 lbs.
Electrical
Operating voltage 12VAC
Minimum start temperature -40°C
LED module wattage 1.9W
System wattage 2.5W
Controllability Non-Dimming
Color rendering index Ra > 80
Luminaire lumens 245 lm
LED service life (L70) 80000hrs

LED color temperature
4000K (K4)
3500K (K3S)
3000K (K3)
2700K (K27)

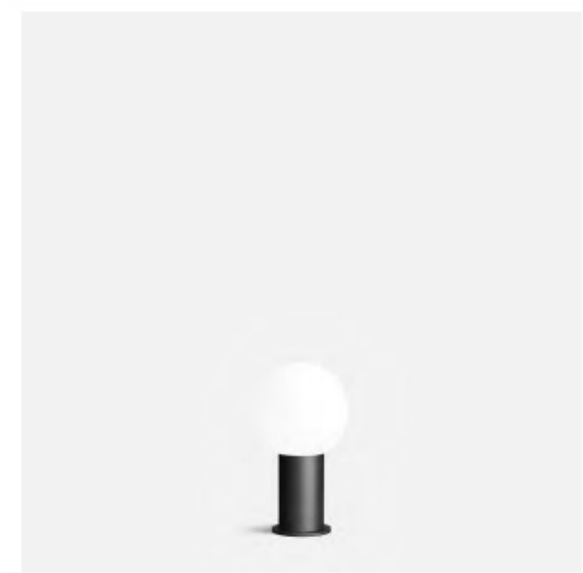
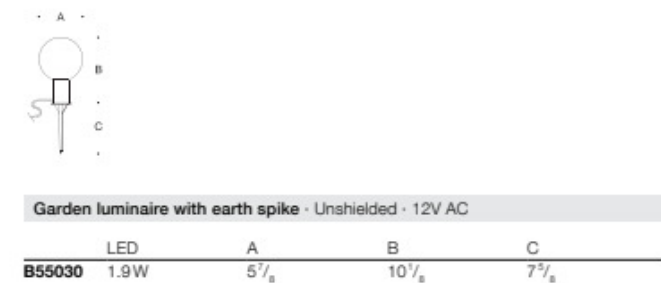
BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish
Synthetic housing provided in standard BEGA Graphite. Custom colors not available.

Type: BEGA Product:
Project:
Modified:

Available options
AMB Amber LED

Available accessories
BS36 Low voltage magnetic transformer - 300W
See individual accessory spec sheet for details.



BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com
Due to the dynamic nature of lighting products and the associated technologies, technical data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com
© copyright BEGA 2023 Updated 08/12/23

Visual Comfort & Co.

8254EN3-68: One Light Outdoor Post Lantern

Dimensions:
Diameter: 14.0"
Height: 15.0"
Weight: 2.9 lbs.
Wire: 6.5" (color:Black/White)
Watts: 9
Lumens: 800
Bulb Temp: 3000 °K



Bulbs:
1 - LEDMedium A19 9.0w Max. 120v included

Features:
• LED Bulbs are an efficient, versatile and durable light source that deliver exceptional performance.
• Fixture includes plug for easy plug-in installation
• Meets Title 24 energy efficiency standards
• Title 24 compliant when used with included Joint Appendix (JA8) approved lamp.

Material List:
1 Body - Polycarbonate - Black

Safety Listing:
Safety Listed for Wet Locations

Instruction Sheets:
English (HC-438)
French (F-013)

Collection: Outdoor Globe
Large Outdoor Lantern Top with Black Finish and White Acrylic Ball Diffuser.

Outdoor lantern top with black finish and white acrylic ball diffuser. Fits 3" Outdoor Post (Sold Separately).

Featured in the decorative Outdoor Globe collection

1 A19 Medium 9.3 watt light bulb

Fixture is supplied with 1 light bulb

white plastic acrylic diffuser

ENERGY STAR® Qualified

UPC #:785652065262

Finish: White Plastic (68)

Shade / Glass / Diffuser Details:

Part	Material	Finish	Quantity	Item Number	Length	Width	Height	Diameter	Filter Diameter	Shade Top Length	Shade Top Width	Shade Top Diameter
Diffuser	Acrylic	White Plastic	1									

Replacement Bulb Data:

Product #	Type	Base	Watts	Watts Consumed	Volts	Hours	Lumens	Temp (°K)	CRI

Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Frt. Class	UPS Ship
Individual	8254EN3-68	1	785652065262	14.25	14.18	14.5	1.7	3.5	0	Yes
Master Pack	8254EN3-68	0	10785652065269							No
NJ Pallet		45		48.0	40.0	68.3	75.89	126.0		No
NV Pallet		45		48.0	40.0	68.3	75.89	126.0		No

Visual Comfort & Co. reserves the right to revise the design of components of any product due to parts availability or change in safety listing standards without assuming any obligation or liability to modify any products previously manufactured and without notice. This literature depicts a product design that is the sole and exclusive property of Visual Comfort & Co. In compliance with U.S. copyright and patent requirements, notification is hereby presented in this form that this literature, or the product it depicts, is not to be copied, altered or used in any manner without the express written consent of, or contrary to the best interests of Visual Comfort & Co.

Visual Comfort & Co.

8753-34: One Light Outdoor Wall Lantern

Dimensions:
Width: 6.0"
Height: 7.25"
Weight: 1.1 lbs.
Extends: 7"
Wire: 6.5"
Mounting Proc.: Center Lock-Up
Connection: Mounted To Box



Bulbs:
1 - Medium A19 60.0w Max. 120v not included

Features:
• Easily converts to LED with optional replacement lamps
• Meets Title 24 energy efficiency standards
• Title 24 compliant if used with Joint Appendix (JA8) approved light bulbs listed in the California Energy Commission Appliance database.

Material List:
1 Body - Polycarbonate - Black

Safety Listing:
Safety Listed for Wet Locations

Instruction Sheets:
Trilingual (English, Spanish, and French) (990WE301-875.)

Collection: Outdoor Wall

Black Polycarbonate and White Glass Outdoor Lantern Globe.

Single Light Outdoor Wall Lantern with Black Polycarbonate finish and White Glass globe.

Featured in the decorative Outdoor Wall collection

1 A19 Medium 60 watt light bulb

white glass diffuser

Easily converts to LED with optional replacement lamps

Meets Title 24 energy efficiency standards

UPC #:785652875335

Finish: Black (12)

Shade / Glass / Diffuser Details:

Part	Material	Finish	Quantity	Item Number	Length	Width	Height	Diameter	Filter Diameter	Shade Top Length	Shade Top Width	Shade Top Diameter
Diffuser	Glass	White	1					6.0				

Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate	4.75	4.5	5.5		2.25	5.0

Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Frt. Class	UPS Ship
Individual	8753-34	1	785652875335	10.25	7.25	7.25	0.51	1.5	0	Yes
Master Pack	8753-34	12	10785652875332	24.25	15.5	21.25	4.62	19.45	0	Yes
NJ Pallet		180		48.0	40.0	69.25	76.94	306.0		No
NV Pallet		144		48.0	40.0	78.0	86.67	216.0		No

Visual Comfort & Co. reserves the right to revise the design of components of any product due to parts availability or change in safety listing standards without assuming any obligation or liability to modify any products previously manufactured and without notice. This literature depicts a product design that is the sole and exclusive property of Visual Comfort & Co. In compliance with U.S. copyright and patent requirements, notification is hereby presented in this form that this literature, or the product it depicts, is not to be copied, altered or used in any manner without the express written consent of, or contrary to the best interests of Visual Comfort & Co.

LUMENPOD® 16 Another Luminaire® Component for Life Safety and Light

PROJECT NAME: _____

REP AGENCY: _____

APPROX. LINEAR FT: _____

SERVICE OPTIONS: Field Measure Job Site Support System Installation



SCAN QR CODE for technical information, downloads and instructions.

PART NUMBER BUILDER

LULF40K703	LULF	COLOR TEMP	OPTIC	DRIVE CURRENT
EXAMPLE	FIXTURE TYPE			
* Indicates stock, other options may require additional lead-time	LULF- Lumenpod® 16	*27K- 2700 K BLUE- Blue *30K- 3000 K GREEN- Green *40K- 4000 K RED- Red 50K- 5000 K AMB- Amber	16- 16" beam 23- 23" beam 44- 44" beam *70- 70" beam 94- 94" beam	*5- 2.2W @ 500 mA *3- 1.7W @ 350 mA Extended life (50,000hr) version requires 600mA

ELECTRICAL SPECIFICATIONS

	24VDC	ETL LISTED WET, IK10, IP67, CE	0-10V INPUT	-40°F TO +120°F
	INPUT VOLTAGE	CERTIFICATIONS	DIMMING	OPERATING TEMP
	CLASS 2 REQUIRED	5 YEARS	UP TO 116 LM/W LED	80+
	DRIVER	WARRANTY	EFFICIENCY	CRI
				8"
				WIRE LENGTH

CONSTRUCTION

The Lumenpod's threaded stainless steel body dissipates heat directly into the mounting material. A machined shoulder positions it nearly flush with any diameter hand rail, as well as flat or square stock.

PHOTOMETRICS

70° 70° @ ±25° above nadir
Asymmetric performance can be fine-tuned on fabricated systems by rotating the fixture around the rail diameter. A 25° angle provides superb illumination results in most applications. IES reports to view or download are available by scanning the QR code or visiting our website.

LUMENGEAR™ LED DRIVER & NEMA ENCLOSURE OPTIONS

Wagner offers multiple ETL listed options for both 24VDC power supplies and NEMA enclosures. Quantities and types will be configured based on your specifications and design. Additional specification options are available by request. Not all options apply to all products, please verify compatibility with the factory.

CLASS 2 DRIVERS:

- STD 100W
- Dali, DMX, 0-10V Dimming Protocols
- Multiple Wattages
- Made in USA Units Available

NEMA ENCLOSURES:

- 4x - Polycarbonate, Painted Steel or Stainless Steel
- LUMENPOST™: Integrated 100W, 0-10V DIM

Specifications may change without prior notice, verify data at time of order, all rights reserved

@wagnercompanies

Page 2 of 2

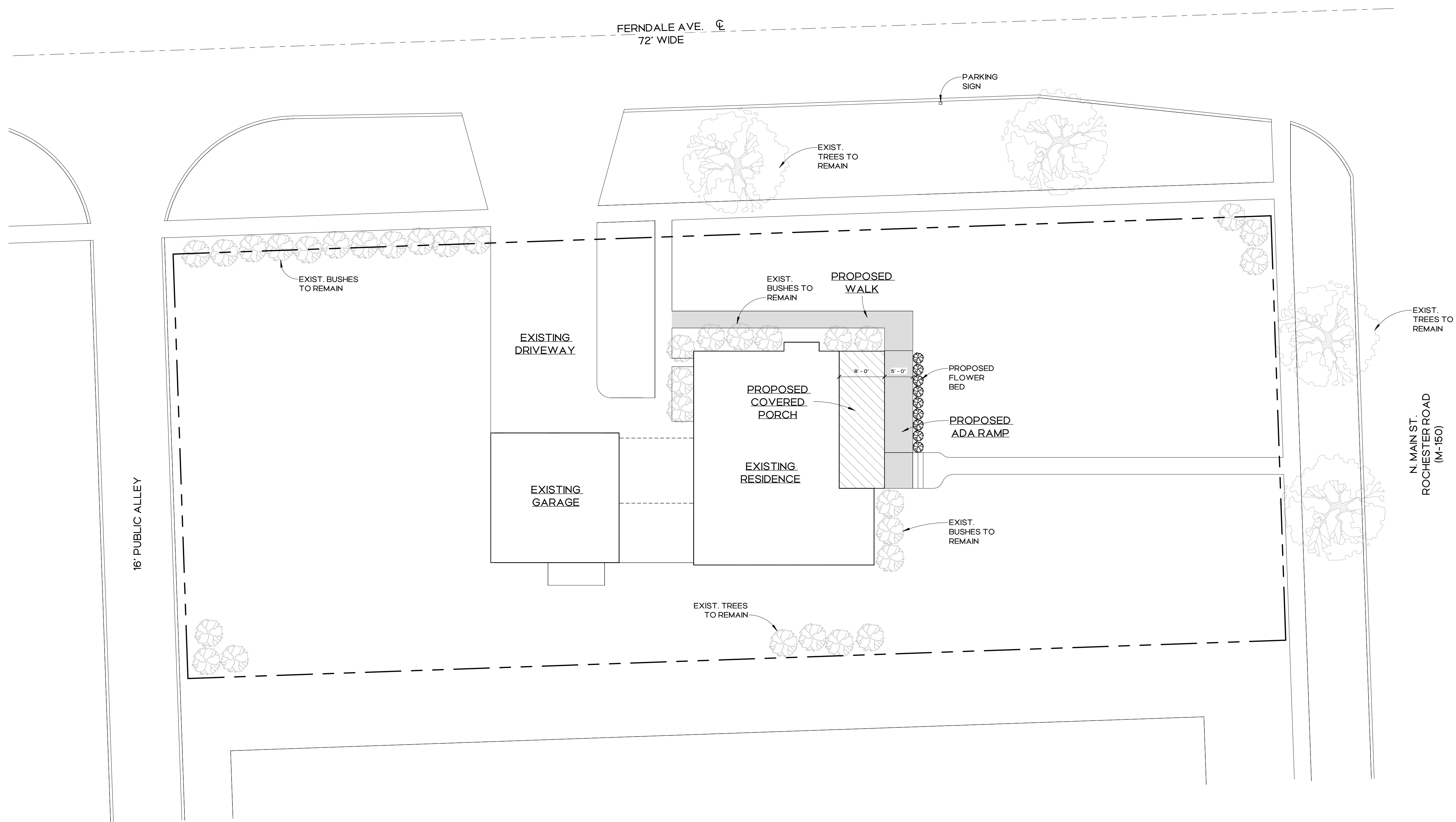
WAGNER
wagner.com

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WagnerCompanies.com
LULF SUBM RB



1120 N. MAIN ST. - ROCHESTER
PHOTOMETRIC PLAN
GASSER BUSH ASSOCIATES
WWW.GASSERBUSH.COM

Designer
KS
Date
10/08/2025
Scale
Not to Scale
Drawing No.
#25-49440_V2



PROPOSED FLOWER BED TO INCLUDE A MIXTURE OF HYDRANGEAS, RUSSIAN SAGE, AND BLACK-EYED SUSANS

Proposed Site Plan

1" = 10'-0"

OakStreet DESIGN

1135 N. Oak St.
Rochester, MI 48307
jenna@oakstreetdesign.com
Phone: (248) 891-1629

Contractor Address
City, State XXXXX

Contractor Email
Contractor Phone Number

Contractor Information

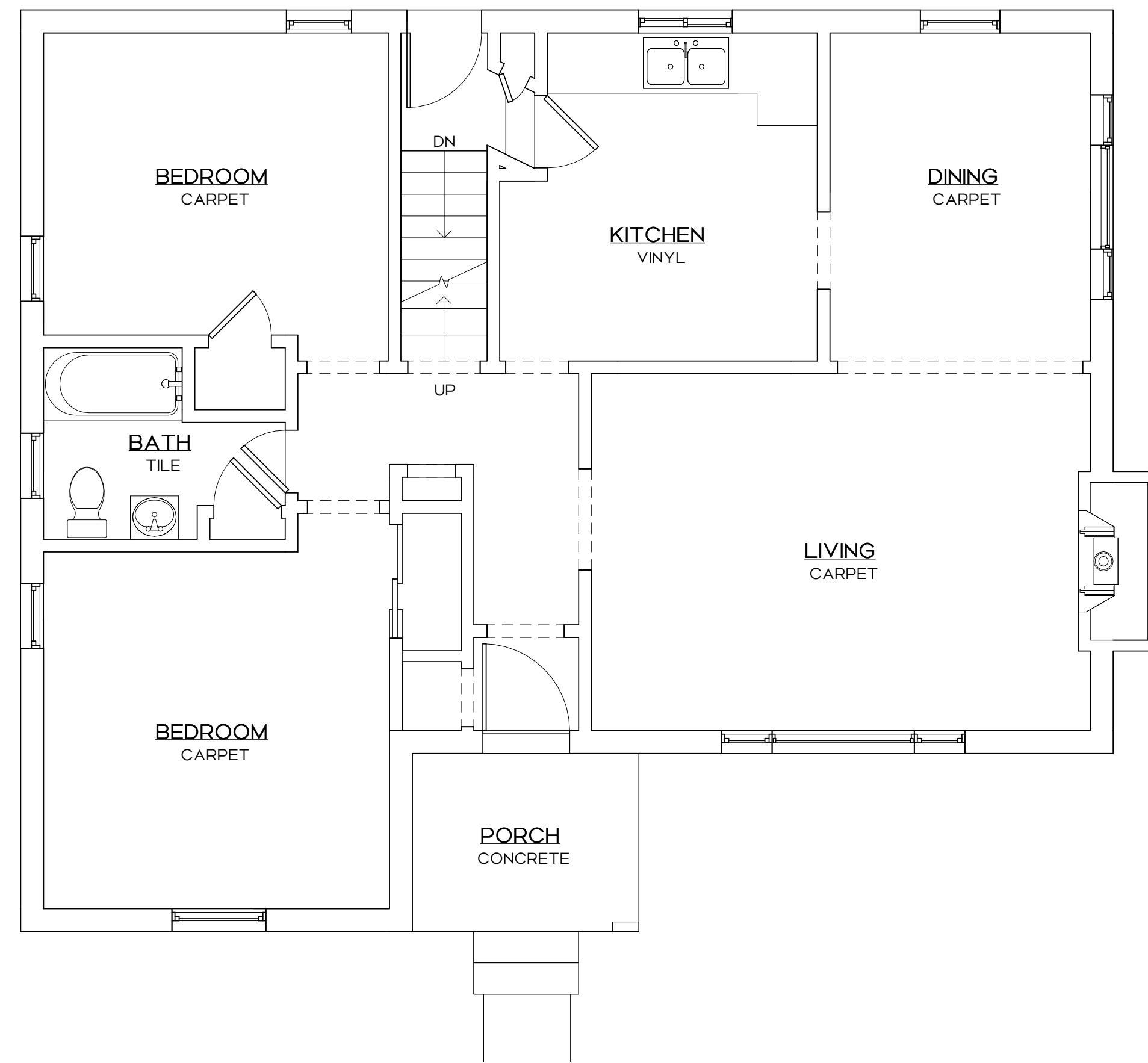
Sterling Wealth Solutions

1129 N. Main St. | Rochester, MI 48307

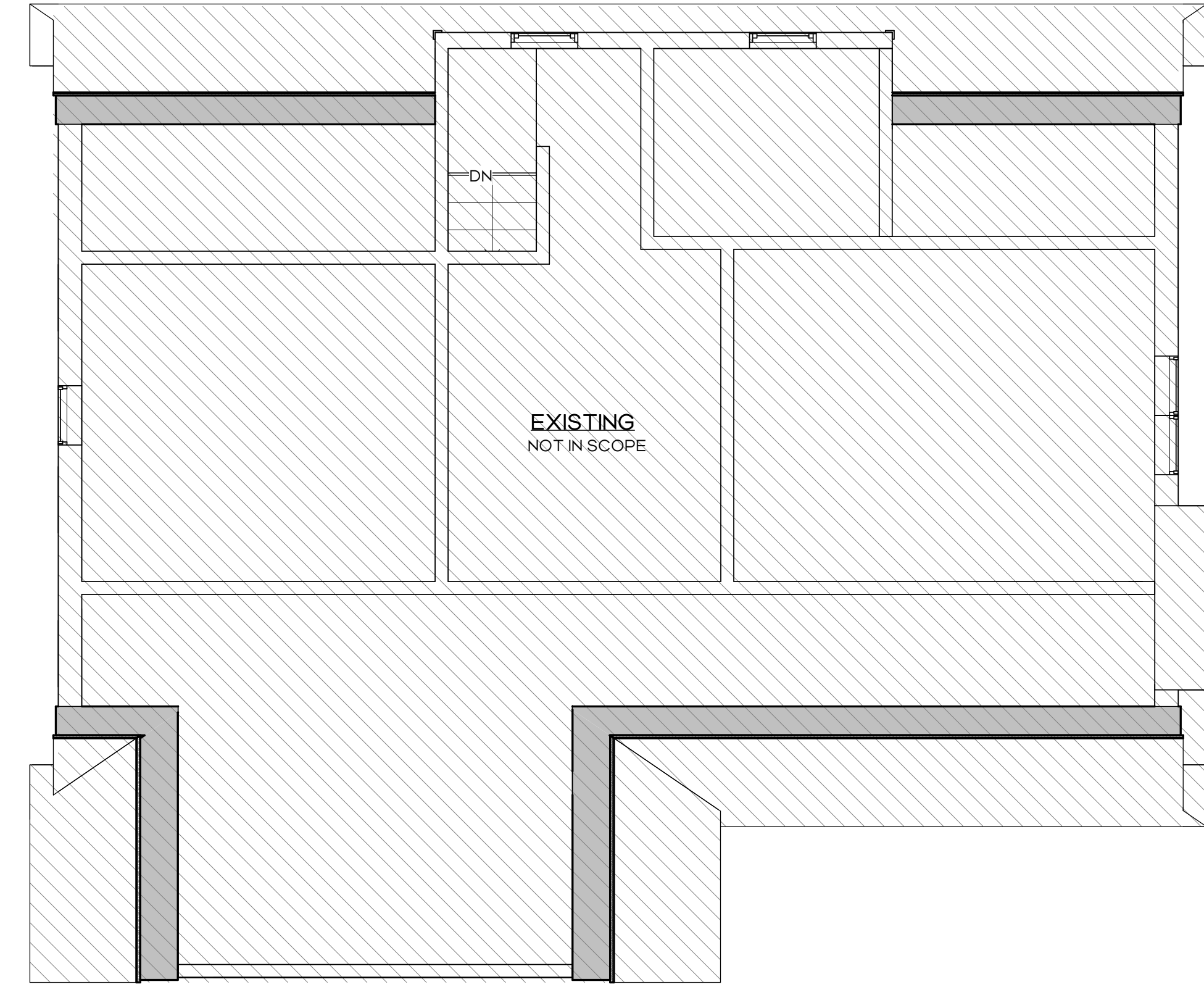
PLANNING MTG. 11/3/2025

SITE PLAN & LANDSCAPING

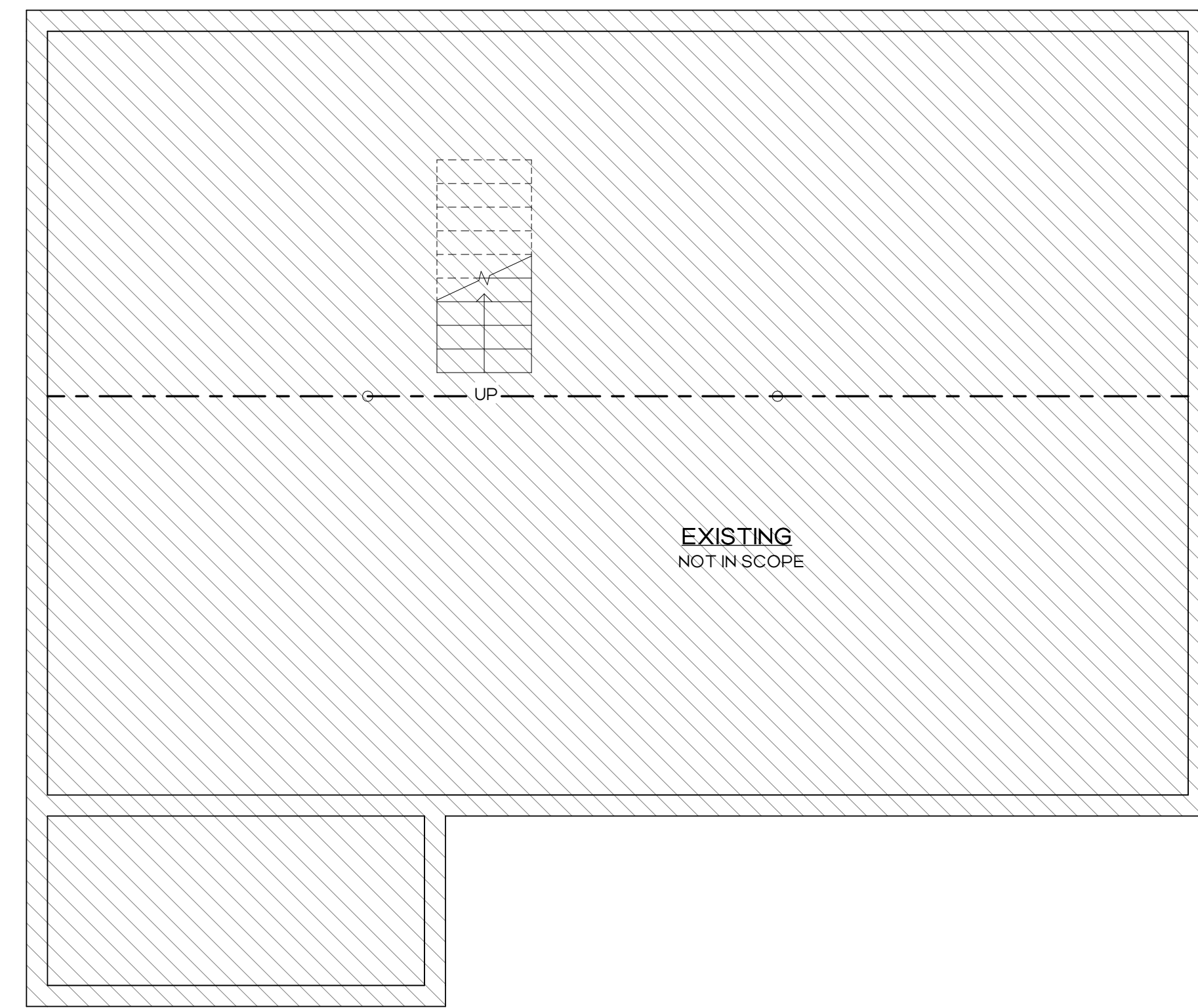
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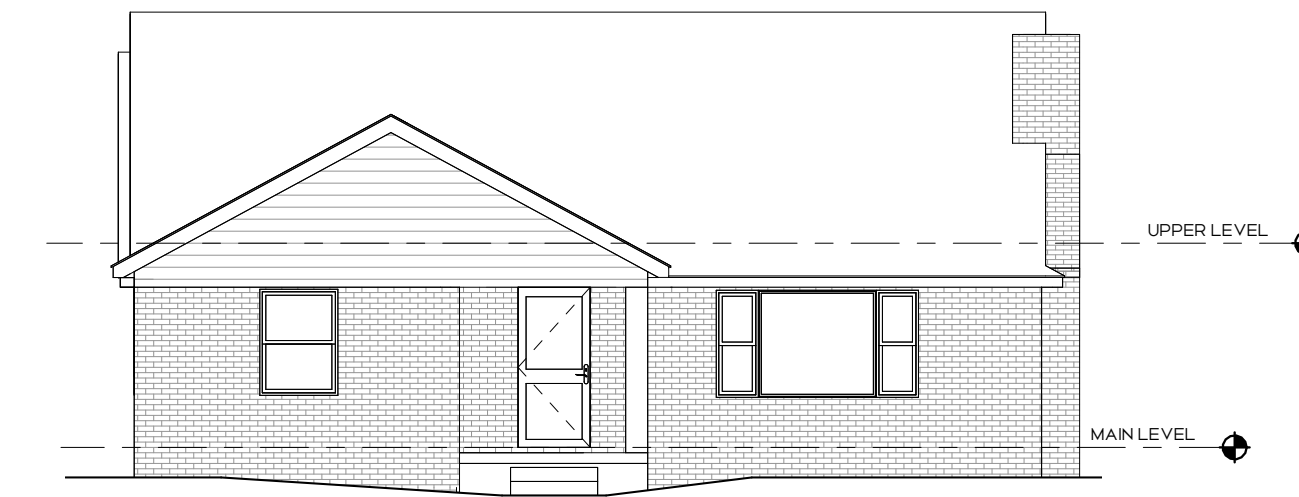
Existing Main Level Plan
1/4" = 1'-0"



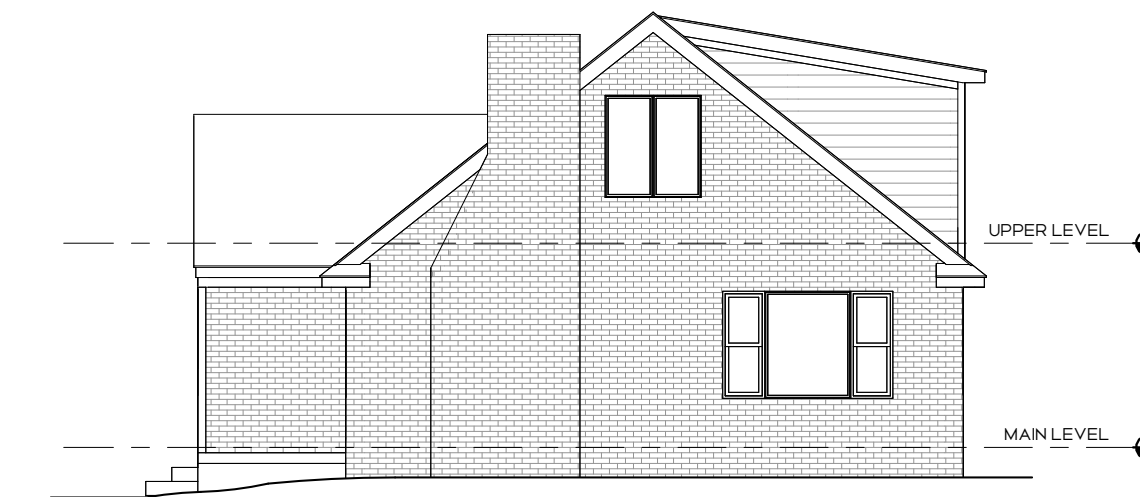
Existing Upper Level Plan
1/4" = 1'-0"



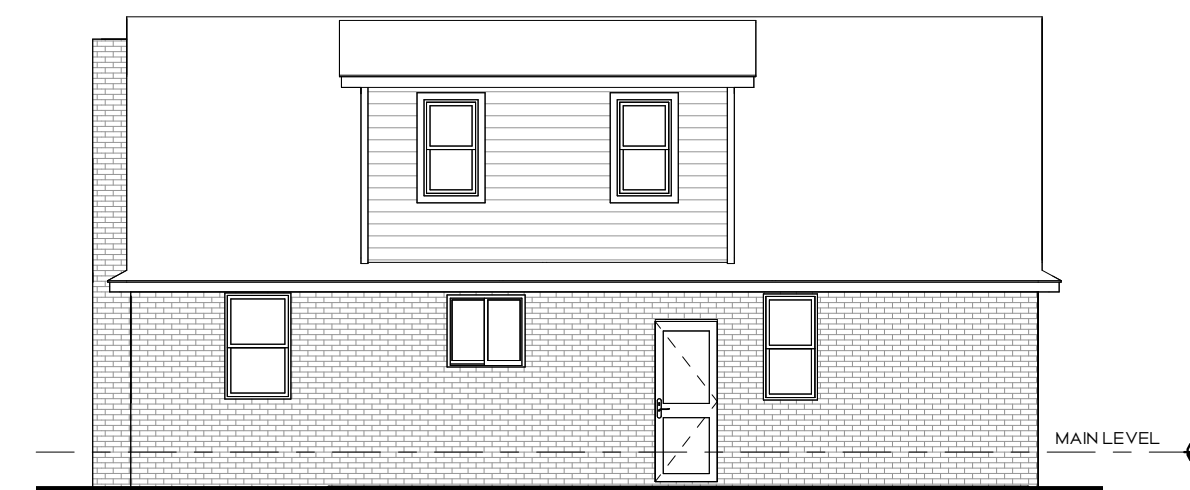
Existing Lower Level Plan
1/4" = 1'-0"



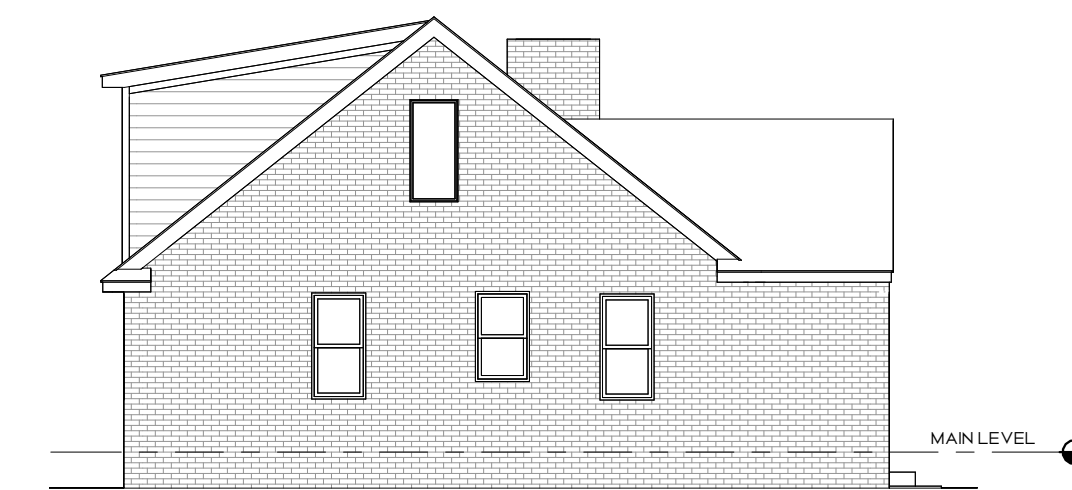
Existing East Elevation
1/8" = 1'-0"



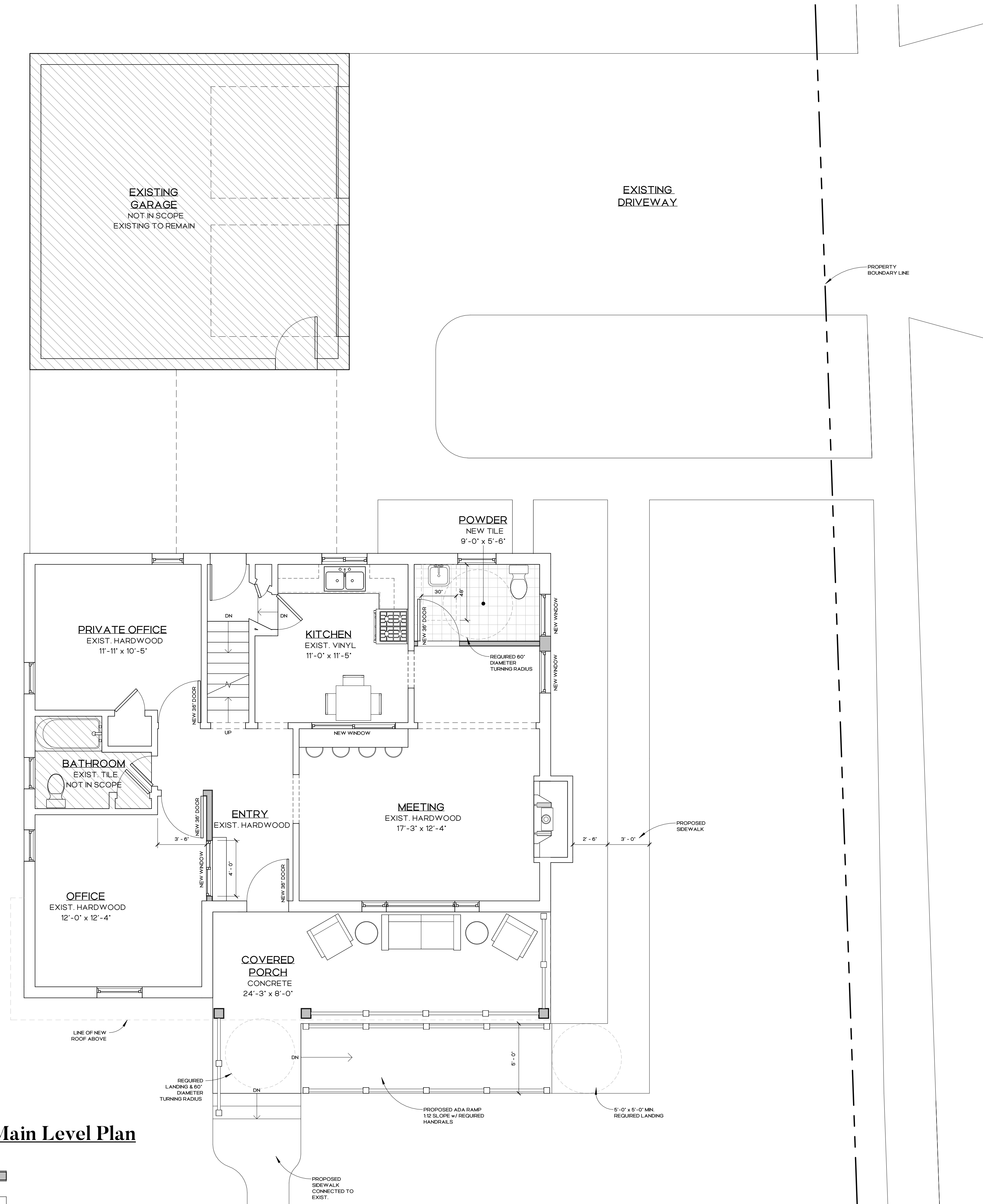
Existing North Elevation
1/8" = 1'-0"



Existing West Elevation
1/8" = 1'-0"

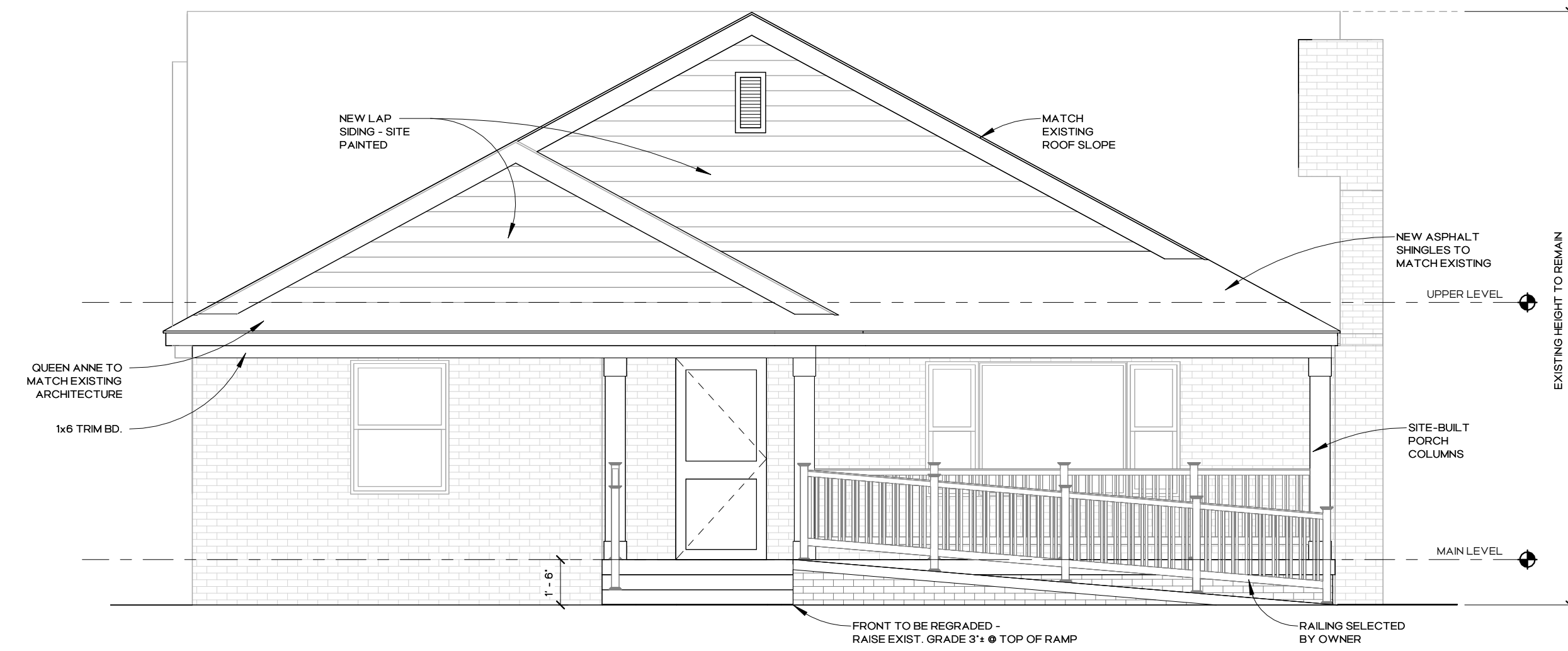


Existing South Elevation
1/8" = 1'-0"

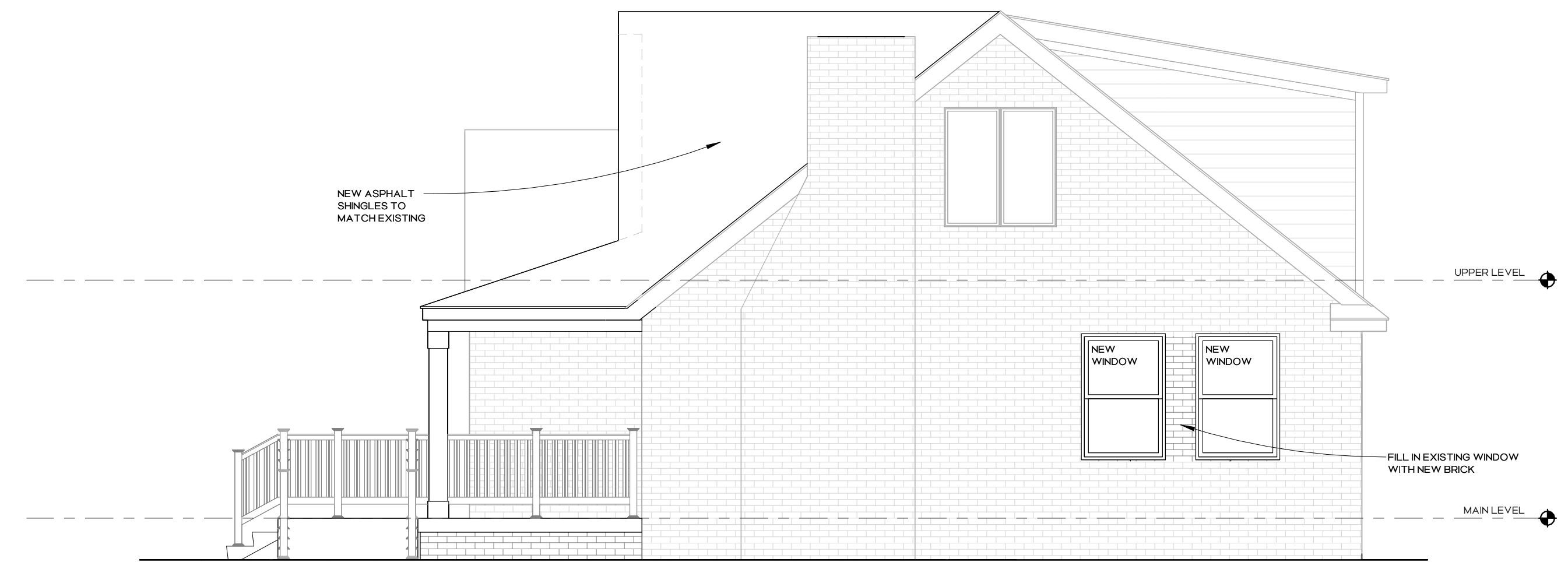


Proposed Main Level Plan
1/4" = 1'-0"

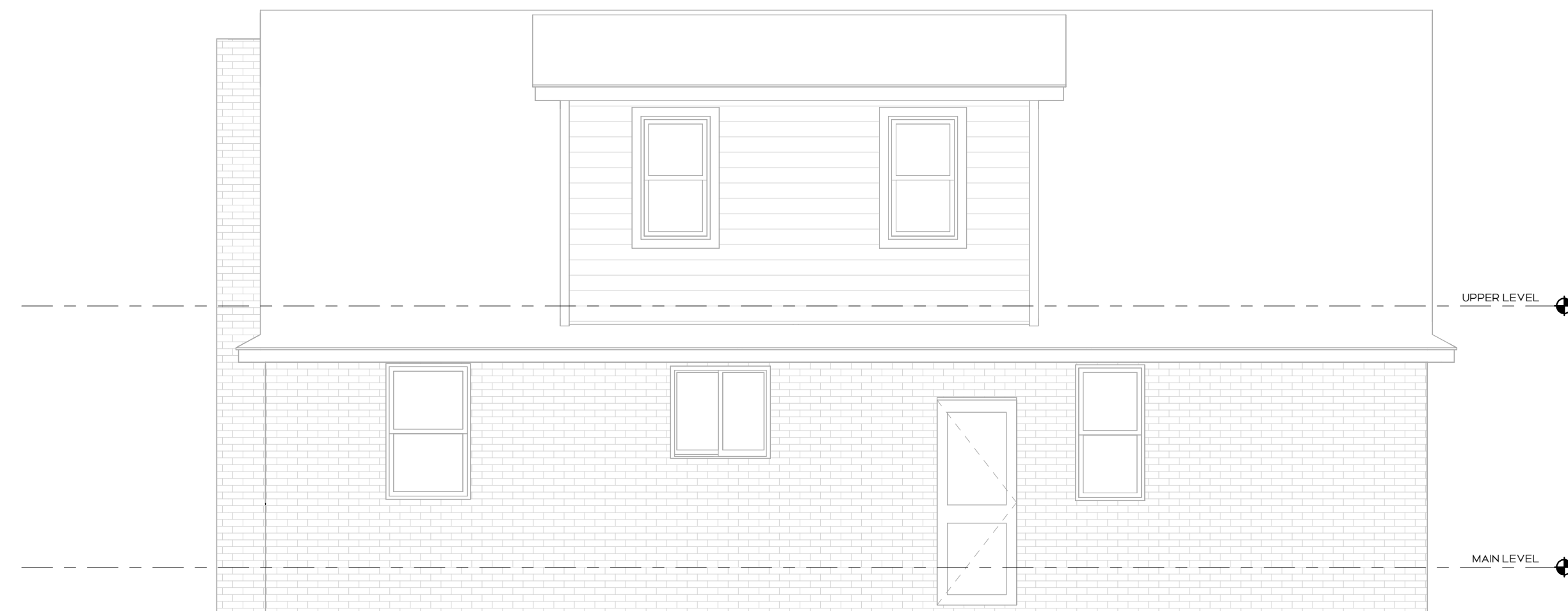
NEW WALL
EXISTING WALL



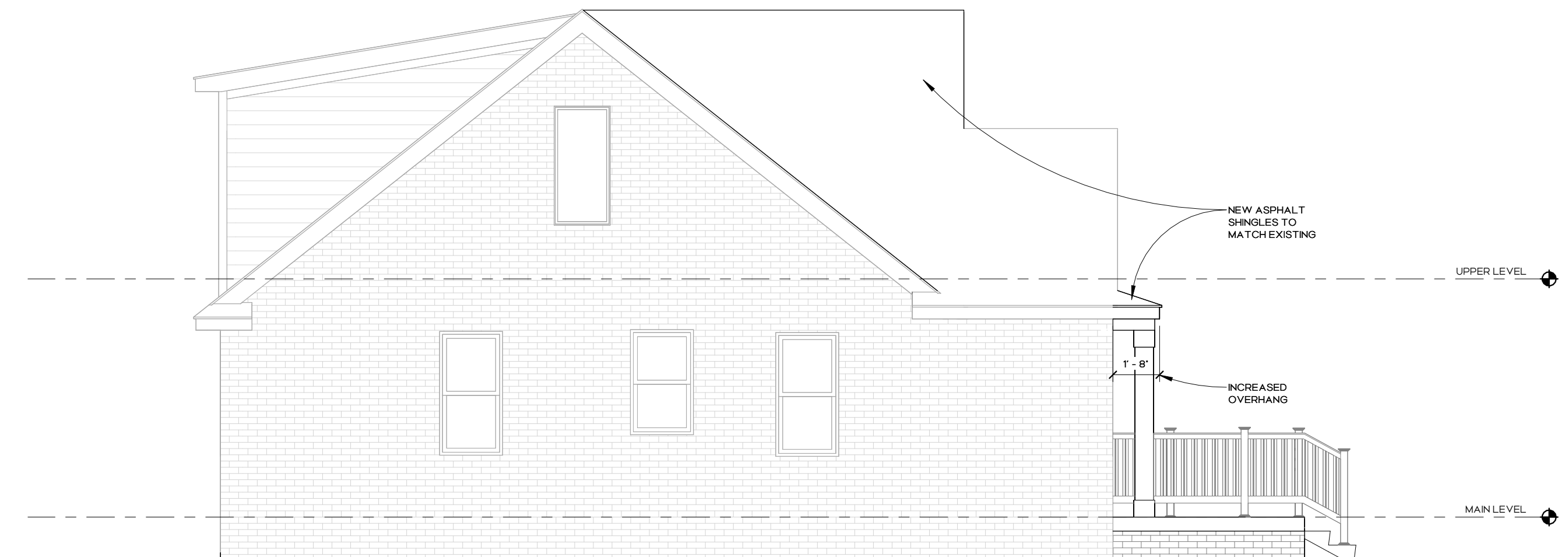
Proposed East Elevation
1/4" = 1'-0"



Proposed North Elevation
1/4" = 1'-0"



Proposed West Elevation
1/4" = 1'-0"



Proposed South Elevation
1/4" = 1'-0"



City of Rochester

Todd A. Sterling
1129 N. Main St, 2
Rochester MI
48307

400 Sixth Street
Rochester, MI 48307
P: (248) 651-9061
F: (248) 651-2624
www.rochestermi.org

PLANNING COMMISSION SITE PLAN PROCEDURE GUIDE

The Rochester Zoning Ordinance requires site plan approval in a number of situations. This Procedure Guide is intended to assist you in processing a site plan. This guide does not replace nor supersede any provisions of the Zoning Ordinance or any other Code of Ordinance of the City. It is recommended that you obtain a copy of the Zoning Ordinance, as amended. The attached form must be submitted with your request for site plan review.

The Planning Commission will examine the impact of the proposed development on adjoining and nearby properties, persons and activities and will, therefore, be interested in the configuration of the new structures, durability and standards of design. The site plan submittal shall accurately depict the location, height, mass of buildings, grading plans and typical elevations and all other data required by Article 27 of the Zoning Ordinance. Site plans deemed to be incomplete may be returned by the city without placing them on the Planning Commission agenda or the Planning Commission may table (postpone) the site plan review without discussion. Final building plans are not required as part of the site plan submittal; however, a Building Permit cannot be issued except for the plans that conform to the site plan and final engineering approval. Site plan approval by the City does not include a finding of conformance with deed restrictions. If the site plan involves a need for variance from the Board of Appeals, the site plan should first be submitted to the Planning Commission so that the Board of Appeals may benefit from the findings of the Planning Commission. In such cases, the Planning Commission may, in its discretion, grant a site plan approval conditioned on Board of Appeals action. The Planning Commission may also refer the matter to the Board of Appeals without taking action on the proposed site plan.

DEADLINES

- Site plan submittals must be received by the Permit Coordinator no later than 4:00 p.m., four (4) weeks prior to the next regular meeting of the Planning Commission.
- On items that have been previously considered by the Planning Commission, the revised submittals must be submitted to the Permit Coordinator no later than 4:00 p.m., three (3) weeks prior to the next regular meeting of the Planning Commission.
- The city will review the submitted documents and inform the applicant when it will be on the schedule for Planning Commission consideration. There are no set timelines for submittals, as they are dependent on thoroughness of the submitted documents and any revisions that are needed.

Note: The Planning Commission normally meets the first Monday of each month at 7:00 p.m. in the Municipal Building, 400 Sixth Street. Please check the city website for the date of each meeting.

REQUIREMENTS

- Provide all required documentation and appropriate fee(s) to the Permit Coordinator at Jpeckens@rochestermi.org
- Provide 1 DIGITAL (flash drive) & 9 COPIES of the blueprint drawings of the site plan (pre-folded to ¼ size with the blueprint seal on the outside), including the completed application, any correspondence & written supporting documents.

- Provide a check payable to the City of Rochester for the site plan/special exception/special project/rezoning submittal fee (see page 2 for appropriate fee amounts).

APPEARANCE IS REQUIRED:

APPLICANT OR A REPRESENTATIVE FOR THE APPLICANT MUST ATTEND THE PLANNING COMMISSION MEETING IN ORDER TO ANSWER ANY QUESTIONS BY THE COMMISSION MEMBERS. FAILURE OF THE APPLICANT OR APPLICANT REPRESENTATIVE TO ATTEND THE PLANNING COMMISSION MEETING MAY RESULT IN TABLING CONSIDERATION OF THE SITE PLAN OR DENIAL OF THE SITE PLAN.

SCHEDULE OF FEES:

Until all applicable fees have been paid in full, no action shall be taken on any application or appeal. The schedule of fees shall be as follows:

APPLICATION FOR:	FEE:
ZONING BOARD OF APPEALS	\$400
Administrative Processing Fee	\$100
Special Planning Commission Meeting	\$1500
REZONING APPLICATION	
Administrative Processing Fee	\$100
Rezoning Application, less than one acre	\$750
Rezoning Application, more than one acre	\$50 per additional each
SITE PLAN APPLICATION	
Administrative Processing Fee	\$100
Site Plan Review, less than one acre	\$1,250 first review, \$500 each review, thereafter, subject to \$500 resubmittal fee.
Site Plan Review, more than one acre	\$1,250 for 1st acre + \$50 per each additional acre, each review, thereafter, subject to \$500 resubmittal fee.
CONDOMINIUM PLAN APPLICATION	
Administrative Processing Fee	\$100
Condo Project Application, less than one acre	\$1,000 first review. Each review, thereafter, subject to \$500 resubmittal fee.
Condo Project Application, more than one acre	\$1,000 first review + \$50 per each additional acre, each review, thereafter, subject to \$500 resubmittal fee.

OTHER	
Special Exception Hearing Application	\$500
Special Project Application within a Potential Intensity Change Area (PICA)	\$500
Community / Traffic Impact Study Review	As billed by City Consultant

In addition to the aforementioned fees, the applicant shall be responsible for all necessary engineering costs incurred by the City in processing applications for rezoning and/or site plan approval. A cash deposit (as determined by Administration) shall be deposited by the applicant with the City before any such engineering costs are incurred. Thereafter, all engineering costs shall be deducted from said deposit as incurred from time to time. In the event that said deposit shall be insufficient to cover all such engineering costs, the applicant shall be required to deposit additional sums as determined by the City to be necessary to completely recover the remainder of said engineering costs prior to the continuation of such engineering services. An applicant's failure to deposit such additional sums shall result in a cessation of further engineering services or building inspections by the City and may constitute an abandonment of the application. Upon completion or abandonment, as provided for below, all remaining deposits on hand shall be refunded to the applicant.

Inactivity on the part of an applicant for a period of ninety (90) days or longer in the processing of a rezoning request and/or a site plan approval request, shall be deemed an abandonment of the application requiring submission of a new application and repayment of the above fees, unless prior approval of the applicable board or commission is obtained for a longer period of delay due to extenuating circumstances.

PLANNING COMMISSION - APPLICATION FOR APPROVAL OF SITE PLAN/SPECIAL EXCEPTION/SPECIAL PROJECT

Return to Permit Coordinator with check & required documents listed on page 1

Date Filed : 10/09/2025 Amount of Review Fee Paid : \$ 1350

Approval of the site plan is hereby requested for the following parcel of land in the City of Rochester. This application is submitted with the required number of copies of the site plan and payment of the appropriate review fee. The checklist below has been completed to certify the data contained on the site plan. If the required data is not reflected in the site plan, the appropriate box has been checked and a detailed statement is attached explaining why the data is not provided. I understand that if my site plan is deemed to be incomplete, it may be returned by the city without being placed on the Planning Commission agenda or the Planning Commission my table (postpone) the site plan without discussion. By signing this application, the undersigned hereby grants full authority to the City of Rochester, its agents, employees, representatives and/or appointees to enter upon the undersigned lands and properties for the purpose of inspection and examination incidental hereto.

PROJECT COORDINATOR'S NAME: Todd A Sterling

PROJECT COORDINATOR'S E-MAIL ADDRESS:

Todd@sterlingwealthsolutions.com

PROJECT COORDINATOR'S PRIMARY PHONE NUMBER:

310-345-7028

1. Name of proposed development:

Sterling Wealth Solutions

2. Location of property: West side of Main St. Road, between

Tienken and
W. University Roads.

3. Street address:

1129 N. Main St.

4. The property is presently zoned as:

O-2 Restricted Office

5. The total site area is

0.33 acres(s).

6. Portion of total site being developed:

3% - includes porch, ramp and new walkways

7. It is proposed the property will be developed as:

Business - Financial Planning Office

8. A Special Exception is being requested. Yes No.

9. Site Plan - Required Data: Check the appropriate line. If "not provided" line is checked, attach detailed explanation.

PROVIDED	NOT PROVIDED	DESCRIPTION
X		a. Date, including revision.
X		b. Plan scale of 1" equals 10', 1" = 40'
X		c. North arrow.

X		d. Inserted location sketch showing location of subject property in the mile section.
X		e. The seal of one or more of the following: registered architect, registered civil engineer, registered land surveyor, registered landscape architect or registered community planner.
	N/A	f. Existing and proposed grades at all lot corners and catch basins, and at a plan grid interval of not more than fifty (50) feet along all lot lines, road center lines and on the site and beyond for at least fifty (50) feet. Any proposed change of more than twenty-four (24) inches in the existing grade shall require specific approval by the Planning Commission as part of a site plan. Highlight any grade changes in excess of 24".
	X	g. Existing building(s) and street(s) on site and within one hundred (100) feet of site.
X		h. Center line and existing and proposed right-of-way lines of all streets and roads on property or adjoining roads or streets.
X		i. Boundaries of subject property including distances and bearings.
X		j. Proposed buildings and structures on property, including off street parking; walkways, walls, carports and trash receptacles; dimensions of improvements; and acceleration, deceleration and passing lanes, designation of fire lanes and/or other areas in which parking will be prohibited.
	N/A	k. Any proposed sidewalks or walkways within the right-of-way of adjoining roads or streets.
X		l. Sufficient information describing the proposed use and occupancy of the premises to ascertain compliance with the use of regulations of the district.
X		m. As applicable, number of dwelling units, number of bedrooms, number of off-street parking spaces per dwelling unit and per bedroom, percentage of land covered by buildings, total and usable floor areas for purposes of determining off-street parking requirements.
X		n. Landscape plan including tree inventory. (Section 2800).
X		o. Description of utilities including storm drainage; sewage disposal; electrical distribution; telephone and/or television system; natural gas distribution; exterior lighting; water distribution and source; fire hydrant locations; proposed method of solid waste storage, collection and disposal.
X		p. The cover letter, signed by the owner and prospective developer holding an equitable interest in the property, shall include legal description and acreage of property; existing zoning classification and proposed zoning classification, if different; general description or proposed development; and estimation of timetable of development.

Detailed Explanations for those marked as "not provided":

F: Grade at all lot corners is unchanging. No grade changes in excess of 24".

G: Lots within 100' of site are either vacant parcels, parking lots or residential across an alleyway.

K: Proposed sidewalks are not within the right of way.

X		<p>q. The site plan shall be accompanied by architectural sketches showing the proposed building elevations and maximum heights. The site plan package shall also include architectural sketches showing the relationships of the subject building to buildings located to the rear.</p> <p style="padding-left: 40px;">1) Clearly demonstrate the impact of the proposed building height and bulk on neighboring buildings with "model", color photo or video display.</p>
X		r. As applicable, the site plan submittal shall be accompanied by an application form, furnished by the Administrative Office, for rezoning.
X		s. Exterior lighting plan and design, with photometrics.

10. Present

landowner:

Todd A Sterling

E-MAIL: Todd@sterlingwealthsolutions.com

Address: 1129 N Main St

City: Rochester Hills State: MI Zip: 48307 Phone: 310-345-7028

11. Firm or individual requesting site plan approval:

Sterling Wealth Solutions

E-MAIL: Todd@sterlingwealthsolutions.com

Address: 1129 N Main St

City: Rochester Hills State: MI Zip: 48307 Phone: 3103457028

Signature  of Applicant

Print Name Todd A Sterling Date 10/09/2025