



City of Rochester

400 Sixth Street
Rochester, MI 48307
P: (248) 733-3700
F: (248) 733-3170
www.rochestermi.org

PLANNING COMMISSION REGULAR MEETING AGENDA

Chair David Gassen
Vice Chair & Council Member Christian Hauser
Mayor Nancy Salvia
Members: Daniel Bachmann, Jessica Clauser, David Hardin,
Richard Kendziuk, Laura Murphy & Matthew Stone

See Attached Document for Virtual Meeting Instructions

400 Sixth Street	September 2, 2025	7:00 PM
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1. Call to Order and Roll Call
2. Pledge of Allegiance
3. Public Comment
4. Approval of the Minutes
 - A. Consideration of the Minutes of the Regular Meeting of August 4, 2025.
5. Public Hearings
 - A. Notice of Public Hearing: Consideration of 313 South Street - Site Plan Approval and Facade Change
 - B. Notice of Public Hearing: Consideration of 120 S. Main - Special Project & Site Plan review Including Facade Change.
6. Considerations:
 - A. Consideration of 543 N. Main regarding Proposed Changes to the Site and Vehicular Circulation Plan - Discussion
7. Miscellaneous
8. Public Comment
9. Adjourn

NOTE: Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248-733-3700 forty-eight (48) hours prior to the meeting. Staff will be pleased to make the necessary arrangements to provide necessary reasonable accommodations, including auxiliary aids and services, such as signers for the hearing impaired and audiotapes of printed materials being considered at the meeting.



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Procedure for Hybrid Public Meeting

The City has returned to in-person public meetings as of September 7, 2023, with limited online capabilities. The public bodies (our boards and commissions) are meeting in-person; however, some staff, consultants, and guests will still be able to participate remotely. While in-person audience seating is now available, with limited COVID-19 procedures in place, staff asks that anyone who feels sick not attend in-person.

If you choose to participate virtual, please follow the links and information below:

- Live stream audio and video content on two (2) separate streaming platforms available at the City's [YouTube](#) and at the City's website at www.rochestermi.org/201/City-Webcasts. (Click the "Live" links to go there.)
- The City remains committed to accessibility; however, due to the limitations of technology, City staff encourages residents to send an email with your comments to rsvp@rochestermi.org prior to the meeting, but not later than Noon on the day of the meeting, so that your comments can be read into the record. This will decrease the demand on our virtual meeting infrastructure. (After Noon on the day of the meeting, email comments to: jpeckens@rochestermi.org)
- For those who prefer to use a telephone to participate, you will need to call (312) 626-6799 and enter meeting **ID: 894 4553 6975** When prompted, enter a participant number or just touch the # key. During the call, use *9 to raise hand and you will be "called on" by the last 3-digits of your phone number. (For example, my last digits are 8029. Callers will be asked to speak by referencing the last 4-digits of their phone number.) Note: Phone participants will have their numbers masked, for privacy.
- To provide additional opportunity to participate, members of the public are welcome to join the meeting by copying and pasting the following link in their browser: **<https://us02web.zoom.us/j/83951265192>** (Downloading Zoom is required.)
- We appreciate your understanding as staff will do our best to assist everyone; but, **please be advised for virtual meetings there is a three (3) minute limit for public comments.**

1. CALL TO ORDER AND ROLL CALL

Chairman Gassen and Vice Chairman Hauser were absent, the commission approved Mayor Salvia to Chair the meeting.

A meeting of the City of Rochester Planning Commission (PC) was called to order on August 4, 2025, at 7:00 p.m. by Mayor Salvia.

PRESENT: Nancy Salvia, Mayor
Dan Bachmann, Commissioner
Jessica Clauser, Commissioner
David Hardin, Commissioner
Richard Kendziuk, Commissioner
Laura Murphy, Commissioner
Matt Stone, Commissioner

ABSENT: David Gassen Chairman
Christian Hauser, Vice Chairman

quorum was present.

Also Present: Nik Banda, City Manager
Jeff Kragt, City Attorney (Zoom)
Vidya Krishnan, McKenna Planner (Zoom)
Jeremy Peckens, Planning and Zoning Administrator
Rose McKinney, Planning Clerk (Zoom)

2. PLEDGE OF ALLEGIANCE

Mayor Salvia led the reciting of the Pledge of Allegiance.

3. PUBLIC COMMENT NON-AGENDA ITEMS

There was no public online or in person that wished to be heard.

City Manager Nik Banda addressed recent public concerns regarding 543 North Main, specifically the Atallah Center. After withdrawing his project proposal, the owner focused on code compliance. Repairs were conducted on the deteriorating parking deck, and ongoing weekly updates are taking place with code enforcement. Plans should be forthcoming as there is a stop work order.

4. APPROVAL OF MINUTES

A. Consideration of the Minutes of the Planning Commission Meeting of July 7, 2025.

MOTION by Murphy supported by Bachmann to approve the minutes of July 7, 2025.

Ayes: Salvia, Bachmann, Clauser, Hardin, Kendziuk, Lord, Murphy, stone

Nays:

Absent: Gassen, Hauser

MOTION Carried.

5. PUBLIC HEARINGS

- A. Consideration of 401 S. Main – Site Plan Approval, Façade Change and Parking in Lieu of Parking Requirements.

Vidya, McKenna Planner gave her overview of the proposed project. Twenty-three additional parking spaces are needed. No additional landscaping is being added as there is no room. Any additional signage needs to be submitted to administration. Some of the HVAC equipment will be moved and some will be added, it will not be visible from main street and equipment will be screened. It is recommended for approval with the following three stipulations.

Clarification on the two parking spaces, Recommend to city council for payment in lieu of. Submission for future signage to City Administration.

Mark, architect, was present and addressed any concerns and the design of the project.

Mayor Salvia opened the public hearing at 7:24 p.m.

There was no public online or in person that wished to be heard

Mayor Salvia closed the public hearing at 7:25 p.m.

Discussion included concerns about platform dining, parking demand, and aesthetic compatibility. Commissioners generally supported the project, with considerations to:

- Restrict platform dining in future
- Require administrative review of future signage
- Approve 23 parking spaces in lieu of

MOTION by Clauser supported by Kendziuk to approve Site plan and parking in lieu of.

Ayes: Salvia, Bachmann, Clauser, Hardin, Kendziuk, Lord, Murphy, stone

Nays:

Absent: Gassen, Hauser

MOTION Carried.

- B. Consideration to Amend the City of Rochester zoning text, in Accordance with the Michigan Zoning Enabling Act Pub Act.

Clarification provided by Vidya Krishnan on replacing "special exception" with "conditional use" throughout the ordinance for consistency. The Commission discussed adult-oriented businesses, mobile home parks, and building height flexibility.

Mayor Salvia opened the public hearing at 7:45 p.m.

There was no public online or in person that wished to be heard

Mayor Salvia closed the public hearing at 7:46 p.m.

No objections to proposed text amendments. Clarification requested on:

- Future clean revised copy distribution
- Impact on skyline compatibility
- Adult-oriented business zoning location

MOTION by Bachmann supported by Stone to approve text amendment revision to City Council with the following stipulations

1. Under CBDG 1103 paragraph five Move adult-oriented business to Light Industrial.
2. Allow City Attorney to complete any clerical corrections.

Ayes: Salvia, Bachmann, Clauser, Hardin, Kendziuk, Lord, Murphy, stone

Nays:

Absent: Gassen, Hauser

MOTION Carried.

- C. Consideration of Ordinance Amendment allowing for Limited Retail Use in Industrial Zoning Districts.

City Attorney Jeff Kragt gave an overview of the limited retail use.

Mayor Salvia opened the public hearing at 8:05 p.m.

Janet Yezek of 986 Churchill Cir. Spoke about the adult bookstore in LI, how does that fit in with limited retail use. Mayor Salvia stated that she would take this as a public comment. Janet supports the limited retail use.

Mayor Salvia Closed the public hearing at 8:06 p.m.

MOTION by Clauser supported by Kendziuk to amend by striking out serving only customer clients or patrons.

Commissioner Bachmann pointed out another sentence that conflicts with motion. The last sentence of paragraph B.

Motion by Clauser supported by Kendziuk to amend by adding the strikeout of Paragraph B.

Ayes: Salvia, Bachmann, Clauser, Hardin, Kendziuk, Lord, Murphy, stone

Nays:

Absent: Gassen, Hauser

MOTION Carried.

6. CONSIDERATIONS

A. 313 S Street – Request for Site Plan Approval and Façade Change

Vidya McKenna Planner gave an overview of the proposed project. The existing block on the building will be painted, Black metal panel and white coping will be used at the top. The improvements will give a more modern appearance. Landscaping on the print is not what is proposed. Sign details will be submitted to administration at a later date. All the variances needed were granted by the Zoning Board of Appeals.

Peter, architect of Design Haus was present, and the landscaping plan will be updated. The client is using the building for storage/warehousing.

MOTION by Murphy supported by Stone to approve for a public hearing at the next available meeting.

Ayes: Gassen, Hauser, Salvia, Bachmann, Clauser, Hardin, Kendziuk, Lord, Murphy, stone

Nays:

Absent:

MOTION Carried.

B. 120 S. Main St – Request for Site Plan Approval and Façade Change

Mayor Salvia read a letter from Commissioner Hauser for the record and for clarification.

Discussion ensued about classification as medical or professional use under current zoning.

Vidya, McKenna planner gave her overview. Trash area will need to be addressed. Property line dimensions need to be present along with parking striping. A Landscape plan is needed along with a tree plan. Lighting needs verification. All the colors need to be finalized. The project is recommended for a public hearing at your next available meeting.

Travis and James Riley were present the contamination is in the soil and not in the building that they are aware of. The offices will be open from 5:00 a.m. to 8:00 p.m.

Commissioners supported the proposed renovation, citing compatibility, walkability, and public need. Concerns raised over proper zoning procedures. Vidya Krishnan suggested either:

- Conditional rezoning
- Special project designation

Commissioners preferred the special project path due to zoning conformity.

Discussion ensued to clarification on uses as in medical offices verses Professional use. Vidya stated Stated that the planning commission has not set a precedence and all applicants have been treated the same.

Petitioner Bachmann asked the petitioner if he would be willing to change to special project. The Petitioners stated they would.

Mayor Salvia thanked the petitioner for working with the city.

MOTION by Bachmann supported by Murphy to approve a public hearing at the next available Meeting.

Ayes: Salvia, Bachmann, Clauser, Hardin, Lord, Murphy, Stone

Nays: Kendziuk

Absent: Gassen, Hauser

MOTION Carried.

7.PUBLIC COMMENT

There was no public online or in person that wished to speak.

8.MISCELLANEOUS

City Clerk Leanne O'Connor asked the Planning Commission to move the November 5, 2025, meeting to Wednesday due to elections, and every first Wednesday in November moving forward.

MOTION by Stone supported by Murphy to approve of a public hearing at the next available meeting.

Ayes: Salvia, Bachmann, Clauser, Hardin, Kendziuk, Lord, Murphy, stone

Nays:

Absent: Gassen, Hauser

MOTION Carried.

Commissioners discussed zoning impacts of adult-oriented business. Vidya can provide the commission with business spacing and a GIS analysis to determine viable zoning options.

9.ADJOURNMENT

Hearing there is no further business to discuss, the meeting was Adjourned at 9:35 P.M.

Respectfully Submitted,
Rose McKinney, Building and Planning Clerk



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Planning Commission

RE-NOTICE OF PUBLIC HEARING

400 Sixth Street

September 2, 2025

7:00 pm

NOTICE IS HEREBY GIVEN THAT THE ROCHESTER PLANNING COMMISSION will hold a Public Hearing for the consideration of site plan approval with façade changes. The site is located at 313 South St. The public hearing is scheduled for **Monday September 2, 2025, at 7:00 p.m.** at the Rochester Municipal Offices, 400 Sixth Street, Rochester, MI 48307.

All interested citizens are requested to attend the Hearing. Public comments may be submitted in writing or presented orally at the time of the meeting. To submit written comments in advance, or for assistance and questions about accessing and/or making public comment during the meeting, our Planning Coordinator can provide assistance; please reach out to Jeremy Peckens at (248) 733-3700 or by email: Jpeckens@rochestermi.org.

If you are unable to be present at the Public Hearing, please submit your written comments to the Office of the City Manager, Rochester Municipal Offices, 400 Sixth Street, Rochester, MI 48307, **PRIOR** to the scheduled Public Hearing.

For further information, please contact **Jeremy Peckens, Planning and Zoning Administrator, at 248-733-3700**. See Planning Commission Agenda Packet for Zoom participation information.

*Publish: Oakland Press: **Publish on or before August 18, 2025***

NOTE: Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248-733-3700 forty-eight (48) hours prior to the meeting. Staff will be pleased to make the necessary arrangements to provide necessary reasonable accommodations, including auxiliary aids and services, such as signers for the hearing impaired and audiotapes of printed materials being considered at the meeting.



August 22, 2025

Planning Commission
City of Rochester
400 Sixth Street
Rochester, MI 48307

Subject: 313 South Street Building Additions; Site Plan Review; Revised Plan dated 8/6/2025.

Dear Commissioners:

At the City’s request, we have conducted a review of a request from Designhaus Architects on behalf of Carthew Properties Rochester LLC to construct a 503 square foot rear addition, and a 600 sq. ft second-story addition to an existing industrial building, for a total building area of 3,303 sq. ft. The parcel has an area of 0.22 acres and is located on the north side of South Street in the I-2 (Industrial-2) District.

The applicant appeared before the Planning Commission for a preliminary hearing on 8/4/2025 and was scheduled for a public hearing and provided with feedback regarding the site plan.

COMMENTS

Article 27, Section 2701 of the Zoning Ordinance, outlines the requirements for site plan review. We offer the following comments for your consideration:

- 1. **Use.** The use of the building is for warehousing of equipment and supplies related to the tenant’s private businesses, and associated offices. The existing and proposed uses are principal permitted uses in the I-2 District per Section 1801.

The existing parcel is nonconforming with respect to minimum lot area and lot width. This is an existing legal non-conformity and is not being altered.

- 2. **Setbacks.** The existing building on the site is nonconforming with respect to the front and side yard setbacks. The applicant’s proposed additions are an expansion of the nonconforming structure. The applicant received a variance from the ZBA on June 25, 2025, pursuant to the provisions of Section 403(1) of the Zoning Ordinance to expand a nonconforming structure.

The required front, rear and side yard setbacks in the I-2 district are 25 feet, 20 feet and 15 feet/40 feet combined, respectively. The proposed one-story addition in the rear is located with zero side yard setbacks and the proposed second story addition is located 4.58’ from the front property line and is non-compliant. The ZBA approved both variances on June 25, 2025.

The site is located entirely within the 100-year floodplain; therefore, the plan notes that compliance with the 30’ wide required landscape stabilization zone on the north side of the site along the Clinton River is not possible. A variance from this provision was granted by the Zoning Board of Appeals on June 25, 2025.



3. **Vehicle Access.** The site has no clearly defined access drive off South Street. The frontage is a large expanse of asphalt. The site plan defines a 22' wide access drive which narrows to a 12' wide two-way access drive. The aisle width is non-conforming. *This is an existing nonconformity which is not being altered.*

Truck Circulation. The existing building has a single overhead door that faces South Street and any loading/unloading activity will require use of South Street for maneuvering. The loading area is 11' x 25'. The applicant has submitted a truck turning diagram to show access to overhead door which appears to work and has added a note to the plans specifying that loading/unloading activity shall not extend into South Street right-of-way.

4. **Pedestrian Access.** The existing frontage of the site on South Street is an expanse of pavement which is contiguous with the sites on either side with no area for a clearly defined sidewalk. No sidewalk is required at this time; however, if South Street is improved in the future or the subject site is redeveloped, a sidewalk must be added to the site at such time. All of the parking for the site is located in the rear of the building and the plan notes access to the building from the rear with an at-grade door.
5. **Parking.** Parking for the subject site is noted based upon the use of all space for warehousing and office use at the rate of 1 space/1500 sq ft of GFA and 1 space per 300 sq. ft of GFA. Based on these standards the site requires a total of 6 parking spaces, which are provided on the site, including one (1) barrier free accessible space. The dimensions of the spaces comply with ordinance standards.
6. **Dumpster.** The site plan does not include any dumpster enclosure. While the site's use appears to be intended for the personal storage and office use of the property owner, proposed method of removal of any trash generated from the warehouse and office uses must be noted.
7. **Lighting.** A photometric plan has been provided for the site. Per our recommendation, existing non-shielded fixtures are to be replaced with new wall-mounted downward directed and shielded fixtures. Typical fixture details have been noted and comprise of a downward directed fixture with flat lens.
8. **Architecture.** The existing building is an old block building in need of upgrade and maintenance. The subject site is located in an area envisioned in the City's Master plan as an area of future growth for research and technology-based uses (R-TECH). Based on our previous recommendations, the elevations were revised to include staining the existing block building white and constructing the new second story addition of black metal panels with a white coping. The front façade facing south Street has windows on both levels giving it an 'office' appearance, much more consistent with the R-TECH vision for the area.

The applicant has submitted a revised colored rendering of the building on Sheet A10.1 depicting the site with landscaping.

9. **Landscaping and Tree Removal.** The site has very limited green space. The area abutting the Clinton River is to remain undisturbed. Per our recommendation, the frontage along South Street is to be enhanced with a deciduous tree (Red Maple), row of ornamental shrubs (4 Buttonbush and 9 Red Spirea) and turf grass. The landscape area is to be provided with automatic irrigation.



10. **Signage.** The site plan includes a note stating that location and appearance of proposed ground and/or wall sign will be provided for site plan review; however, the information is not noted on the site plan. Since the site has minimal area along its frontage and has already received a significant variance from the setback standard, we recommend against the installation of any ground/monument sign along the frontage. A ground sign will have to be placed at the edge of the property line and will impact sight lines exiting out of the site for personal and delivery vehicles. A wall sign is adequate to serve the needs of the site, which is intended for personal use, not for customers. Any signs installed at a future date must be approved administratively by the city, prior to installation.

12. **Engineering Approval.** Per the site plan note, no increase in existing impervious surface area on the site is proposed or anticipated; therefore, no increase in stormwater runoff is anticipated. We defer review of the site’s utilities and storm water detention to the City’s engineer and DPW Department.

RECOMMENDATION

The subject site is a small nonconforming site with many challenges. As a result, any development on the parcel will be severely limited. The proposed changes to the site will greatly improve the existing site, which appears to be in need of maintenance and upgrade. Therefore, we recommend that the Planning Commission grant site plan approval for the proposed additions to the building located at 313 South Street, subject to the following conditions:

- 1. Clarification regarding proposed method of trash removal.
- 2. Consideration of installation of a wall sign rather than a monument sign, and approval of all signage by City Administration prior to installation.

Respectfully,
McKENNA

Ms. Vidya Krishnan
Senior Principal Planner

- Cc: Jeremy Peckens
Nik Banda
Jeff Kragt
Rose McKinney
Fire Chief Cieslik

PAY TO THE ORDER OF
CHASE BANK
FOR DEPOSIT ONLY
CITY OF ROCHESTER CASH



City of Rochester

400 Sixth Street
Rochester, NY 48307
P: (248) 651-9061
F: (248) 651-2624
www.rochesternl.org

PLANNING COMMISSION SITE PLAN PROCEDURE GUIDE

The Rochester Zoning Ordinance requires site plan approval in a number of situations. This Procedure Guide is intended to assist you in processing a site plan. This guide does not replace nor supersede any provisions of the Zoning Ordinance or any other Code of Ordinance of the City. It is recommended that you obtain a copy of the Zoning Ordinance, as amended. The attached form must be submitted with your request for site plan review.

The Planning Commission will examine the impact of the proposed development on adjoining and nearby properties, persons and activities and will, therefore, be interested in the configuration of the new structures, durability and standards of design. The site plan submitted shall accurately depict the location, height, mass of buildings, grading plans and typical elevations and all other data required by Article 27 of the Zoning Ordinance. Site plans deemed to be incomplete may be returned by the city without placing them on the Planning Commission agenda or the Planning Commission may table (postpone) the site plan review without discussion. Final building plans are not required as part of the site plan submittal; however, a Building Permit cannot be issued except for the plans that conform to the site plan and final engineering approval. Site plan approval by the City does not include a finding of conformance with deed restrictions. If the site plan involves a need for variance from the Board of Appeals, the site plan should first be submitted to the Planning Commission so that the Board of Appeals may benefit from the findings of the Planning Commission. In such cases, the Planning Commission may, in its discretion, grant a site plan approval conditioned on Board of Appeals action. The Planning Commission may also refer the matter to the Board of Appeals without taking action on the proposed site plan.

DEADLINES

- Site plan submittals must be received by the Permit Coordinator no later than 4:00 p.m., four (4) weeks prior to the next regular meeting of the Planning Commission.
- On items that have been previously considered by the Planning Commission, the revised submittals must be submitted to the Permit Coordinator no later than 4:00 p.m., three (3) weeks prior to the next regular meeting of the Planning Commission.
- The city will review the submitted documents and inform the applicant when it will be on the schedule for Planning Commission consideration. There are no set timelines for submittals, as they are dependent on thoroughness of the submitted documents and any revisions that are needed.

Note: The Planning Commission normally meets the first Monday of each month at 7:00 p.m. in the Municipal Building, 400 Sixth Street. Please check the city website for the date of each meeting.

REQUIREMENTS

- Provide all required documentation and appropriate fee(s) to the Permit Coordinator at jpeckens@rochesternl.org
- Provide 1 DIGITAL (flash drive) & 9 COPIES of the blueprint drawings of the site plan (pre-folded to 1/4 size with the blueprint seal on the outside), including the completed application, any correspondence & written supporting documents.

• Provide a check payable to the City of Rochester for the site plan/special exception/special project/rezoning submittal fee (see page 2 for appropriate fee amounts). #7581384

APPEARANCE IS REQUIRED:

APPLICANT OR A REPRESENTATIVE FOR THE APPLICANT MUST ATTEND THE PLANNING COMMISSION MEETING IN ORDER TO ANSWER ANY QUESTIONS BY THE COMMISSION MEMBERS. FAILURE OF THE APPLICANT OR APPLICANT REPRESENTATIVE TO ATTEND THE PLANNING COMMISSION MEETING MAY RESULT IN TABLING CONSIDERATION OF THE SITE PLAN OR DENIAL OF THE SITE PLAN.

SCHEDULE OF FEES:

Until all applicable fees have been paid in full, no action shall be taken on any application or appeal. The schedule of fees shall be as follows:

APPLICATION FOR:	FEE:
ZONING BOARD OF APPEALS	\$400
Administrative Processing Fee	\$100
Special Planning Commission Meeting	\$1500
REZONING APPLICATION	
Administrative Processing Fee	\$100
Rezoning Application, less than one acre	\$750
Rezoning Application, more than one acre	\$50 additional per each
SITE PLAN APPLICATION	
Administrative Processing Fee	\$100
Site Plan Review, less than one acre	\$1,250 first review, \$500 each review, thereafter, subject to \$500 resubmittal fee.
Site Plan Review, more than one acre	\$1,250 for 1st acre + \$50 per each additional acre, each review, thereafter, subject to \$500 resubmittal fee.
CONDOMINIUM PLAN APPLICATION	
Administrative Processing Fee	\$100
Condo Project Application, less than one acre	\$1,000 first review. Each review, thereafter, subject to \$500 resubmittal fee.
Condo Project Application, more than one acre	\$1,000 first review + \$50 per each additional acre, each review, thereafter, subject to \$500 resubmittal fee.

OTHER	
Special Exception Hearing Application	\$500
Special Project Application within a Potential Intensity Change Area (PICA)	\$500
Community / Traffic Impact Study Review	As billed by City Consultant

In addition to the aforementioned fees, the applicant shall be responsible for all necessary engineering costs incurred by the City in processing applications for rezoning and/or site plan approval. A cash deposit (as determined by Administration) shall be deposited by the applicant with the City before any such engineering costs are incurred. Thereafter, all engineering costs shall be deducted from said deposit as incurred from time to time. In the event that said deposit shall be insufficient to cover all such engineering costs, the applicant shall be required to deposit additional sums as determined by the City to be necessary to completely recover the remainder of said engineering costs prior to the continuation of such engineering services. An applicant's failure to deposit such additional sums shall result in a cessation of further engineering services or building inspections by the City and may constitute an abandonment of the application. Upon completion or abandonment, as provided for below, all remaining deposits on hand shall be refunded to the applicant.

Inactivity on the part of an applicant for a period of ninety (90) days or longer in the processing of a rezoning request and/or a site plan approval request, shall be deemed an abandonment of the application requiring submission of a new application and repayment of the above fees, unless prior approval of the applicable board or commission is obtained for a longer period of delay due to extenuating circumstances.

PLANNING COMMISSION - APPLICATION FOR APPROVAL OF SITE PLAN/SPECIAL EXCEPTION/SPECIAL PROJECT

Return to Permit Coordinator with check & required documents listed on page 1

Date Filed: _____ Amount of Review Fee Paid: \$ _____

Approval of the site plan is hereby requested for the following parcel of land in the City of Rochester. This application is submitted with the required number of copies of the site plan and payment of the appropriate review fee. The checklist below has been completed to certify the data contained on the site plan. If the required data is not reflected in the site plan, the appropriate box has been checked and a detailed statement is attached explaining why the data is not provided. I understand that if my site plan is deemed to be incomplete, it may be returned by the city without being placed on the Planning Commission agenda or the Planning Commission may table (postpone) the site plan without discussion. By signing this application, the undersigned hereby grants full authority to the City of Rochester, its agents, employees, representatives and/or appointees to enter upon the undersigned lands and properties for the purpose of inspection and examination incidental hereto.

PROJECT COORDINATOR'S NAME: Sal Lorenzano

PROJECT COORDINATOR'S E-MAIL ADDRESS:
slorenzano@designhaus.com

PROJECT COORDINATOR'S PRIMARY PHONE NUMBER:
248.601.4422

1. Name of proposed development:
313 South Street
2. Location of property: North side of South Street Road, between South Main and Bloomer Roads.
3. Street address:
313 South Street
4. The property is presently zoned as:
Industrial
5. The total site area is 0.22 acres(s).
6. Portion of total site being developed:
422 SF Addition to rear of existing building and 675 Second Floor addition
7. It is proposed the property will be developed as:
Industrial

8. A Special Exception is being requested. Yes No.
9. Site Plan - Required Data: Check the appropriate line. If "not provided" line is checked, attach detailed explanation.

PROVIDED	NOT PROVIDED	DESCRIPTION
		a. Date, including revision.
		b. Plan scale of 1" equals 10'; 1" = 40'
		c. North arrow.

		d. Inserted location sketch showing location of subject property in the mile section.
		e. The seal of one or more of the following: registered architect, registered civil engineer, registered land surveyor, registered landscape architect or registered community planner.
		f. Existing and proposed grades at all lot corners and catch basins, and at a plan grid interval of not more than fifty (50) feet along all lot lines, road center lines and on the site and beyond for at least fifty (50) feet. Any proposed change of more than twenty-four (24) inches in the existing grade shall require specific approval by the Planning Commission as part of a site plan. Highlight any grade changes in excess of 24".
		g. Existing building(s) and street(s) on site and within one hundred (100) feet of site.
		h. Center line and existing and proposed right-of-way lines of all streets and roads on property or adjoining roads or streets.
		i. Boundaries of subject property including distances and bearings.
		j. Proposed buildings and structures on property, including off street parking; walkways, walls, carports and trash receptacles; dimensions of improvements; and acceleration, deceleration and passing lanes, designation of fire lanes and/or other areas in which parking will be prohibited.
		k. Any proposed sidewalks or walkways within the right-of-way of adjoining roads or streets.
		l. Sufficient information describing the proposed use and occupancy of the premises to ascertain compliance with the use of regulations of the district.
		m. As applicable, number of dwelling units, number of bedrooms, number of off-street parking spaces per dwelling unit and per bedroom, percentage of land covered by buildings, total and usable floor areas for purposes of determining off-street parking requirements.
		n. Landscape plan including tree inventory. (Section 2800).
		o. Description of utilities including storm drainage; sewage disposal; electrical distribution; telephone and/or television system; natural gas distribution; exterior lighting; water distribution and source; fire hydrant locations; proposed method of solid waste storage, collection and disposal.
		p. The cover letter, signed by the owner and prospective developer holding an equitable interest in the property, shall include legal description and acreage of property; existing zoning classification and proposed zoning classification, if different; general description or proposed development; and estimation of timetable of development.

		q. The site plan shall be accompanied by architectural sketches showing the proposed building elevations and maximum heights. The site plan package shall also include architectural sketches showing the relationships of the subject building to buildings located to the rear. 1) Clearly demonstrate the impact of the proposed building height and bulk on neighboring buildings with "model", color photo or video display.
		r. As applicable, the site plan submittal shall be accompanied by an application form, furnished by the Administrative Office, for rezoning.
		s. Exterior lighting plan and design, with photometrics.

10. Present Paul Carthew *on behalf of Carthew Properties Rochester, LLC* landowner: _____

E-MAIL: paul@carthewlaw.com

Address:

701 North Main Street

City: Rochester State: MI Zip: 48307 Phone: 248.656.6800

11. Firm or individual requesting site plan approval: Designhaus Architecture

E-MAIL: info@designhaus.com

Address:

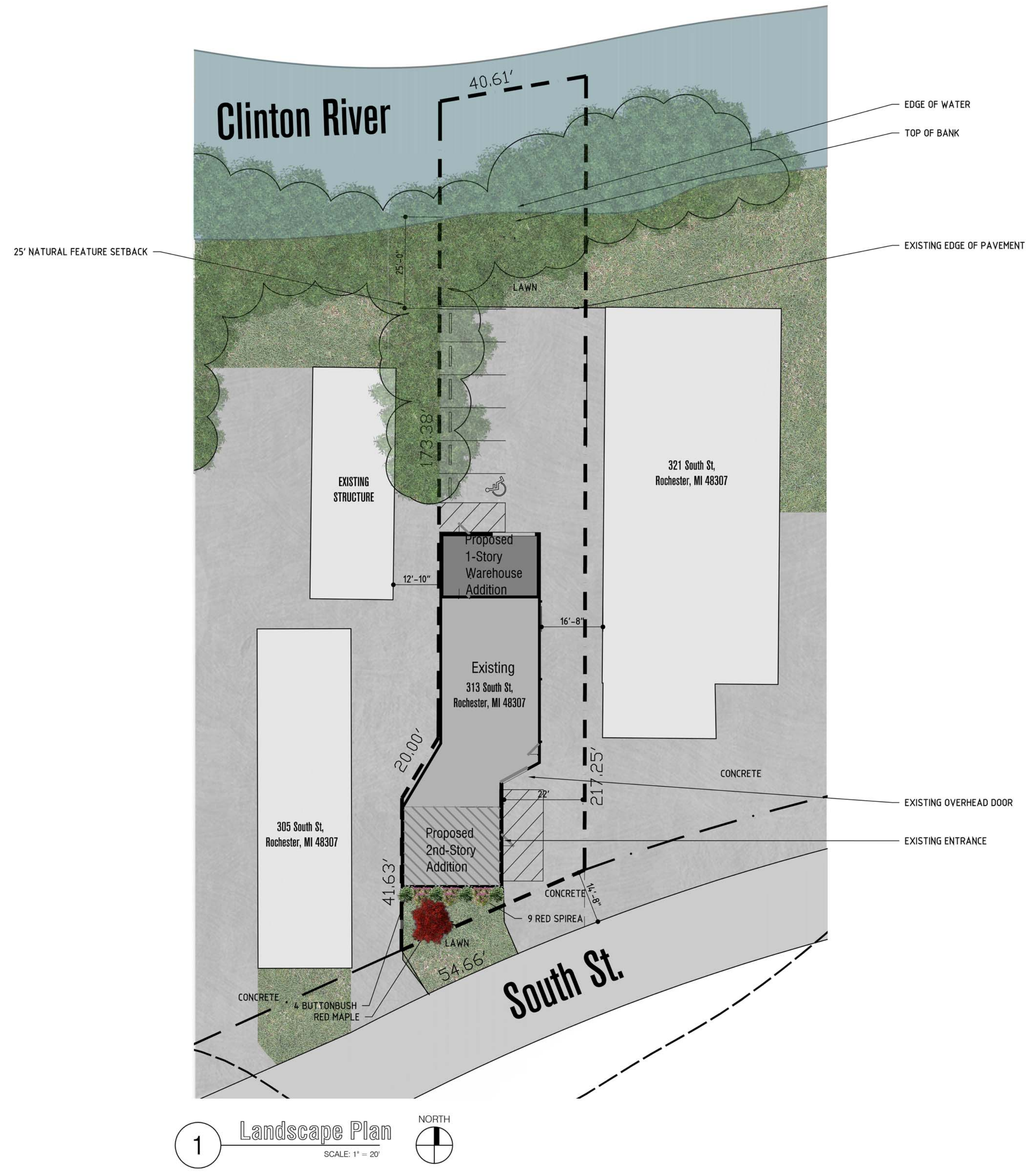
3300 Auburn Road

City: Auburn Hills State: MI Zip: 48326 Phone: 248.601.4422

Signature *Paul Carthew* of _____ Applicant

Print Name Paul Carthew, Member Date 1/29/25

Carthew Properties Rochester, LLC

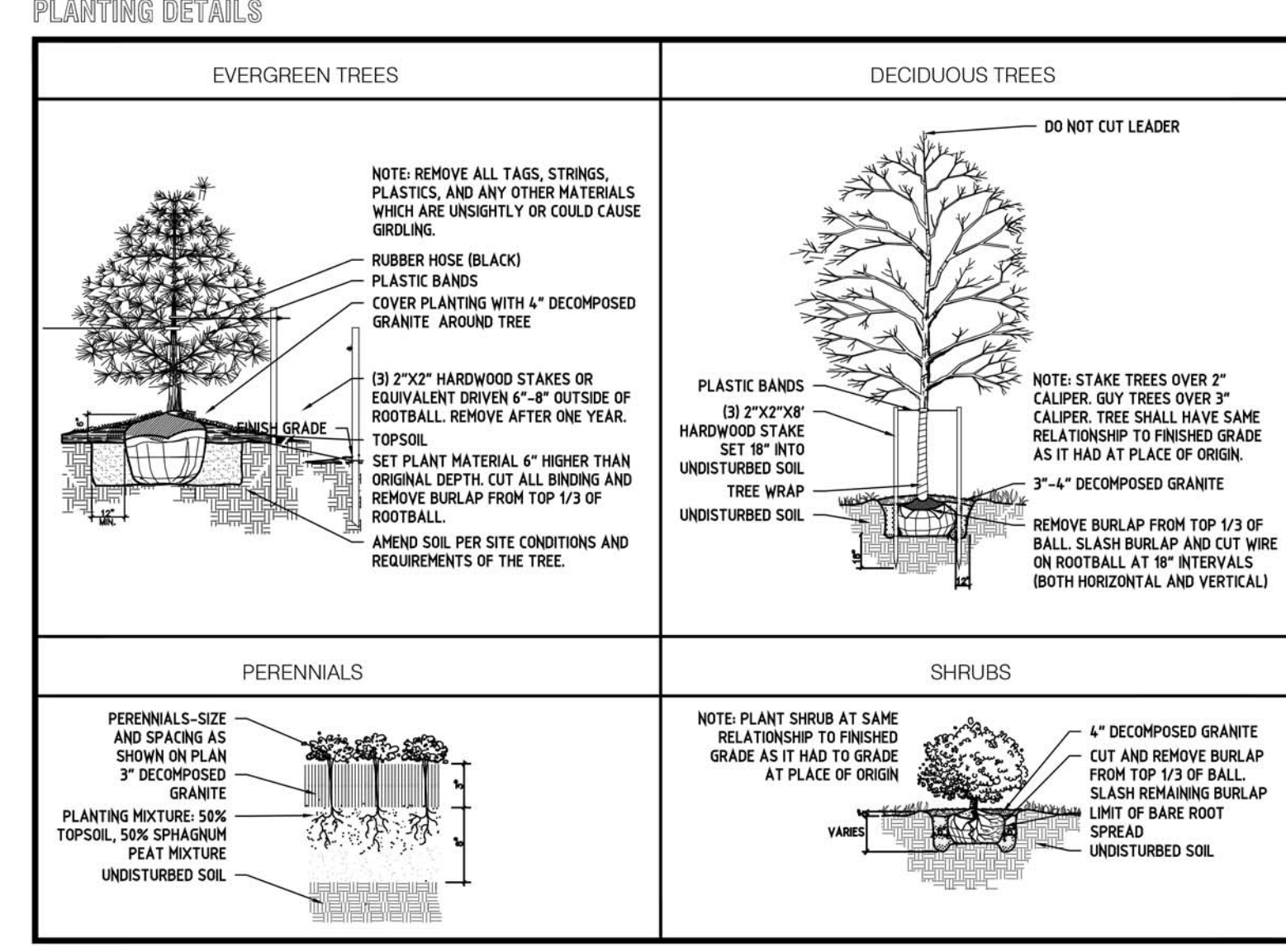


1 Landscape Plan
SCALE: 1" = 20'
NORTH

SITE DATA	
Address	313 South St, Rochester, MI 48307
Parcel ID	1514153016
Zoning	I-2 Industrial 2
Parcel Area	9,378 S.F. (0.22 ACRES)

#	TAG	BOTANICAL NAME	COMMON NAME	SIZE/ROOT
1	RM	ACER RUBRUM	RED MAPLE	2.5" B&B
4	BB	CEPHALANTHUS occidentalis	BUTTONBUSH	36" B&B
9	RS	SPIREA coccinea	RED SPIREA	24" CONT

PROPOSED	ESTIMATED COSTS
1 TREE	\$450.
14 SHRUBS	\$840.
TOTAL	\$1,290



GENERAL NOTES FOR LANDSCAPE DEVELOPMENT

- LANDSCAPE CONTRACTOR SHALL VISIT THE SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1 GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- CONCERNING GROUND COVER. ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH, SEE SPECIFICATIONS. ALL OTHER DISTURBED AREAS SHALL BE SODDED.
- LANDSCAPING SHALL BE MAINTAINED IN A GOOD CONDITION TO PRESENT A HEALTHY, NEAT, AND ORDERLY APPEARANCE FREE FROM REFUSE AND DEBRIS. ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN ONE (1) YEAR OF THE NEXT APPROPRIATE PLANTING PERIOD.
- OWNER TO ESTABLISH MAINTENANCE PROGRAM TO ENSURE GROUNDS AND LANDSCAPING TO REMAIN HEALTHY AND WELL GROOMED.
- RECOMMENDED PLANTING DATES ARE MARCH 1ST TO MAY 15TH FOR ALL MATERIALS, AND OCTOBER 15TH TO DECEMBER 15TH FOR DECIDUOUS MATERIALS. PLANTINGS OUTSIDE THESE DATES SHALL HAVE PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT.
- UNDERGROUND IRRIGATION SYSTEM TO BE DESIGNED AND INSTALLED BY CONTRACTOR.

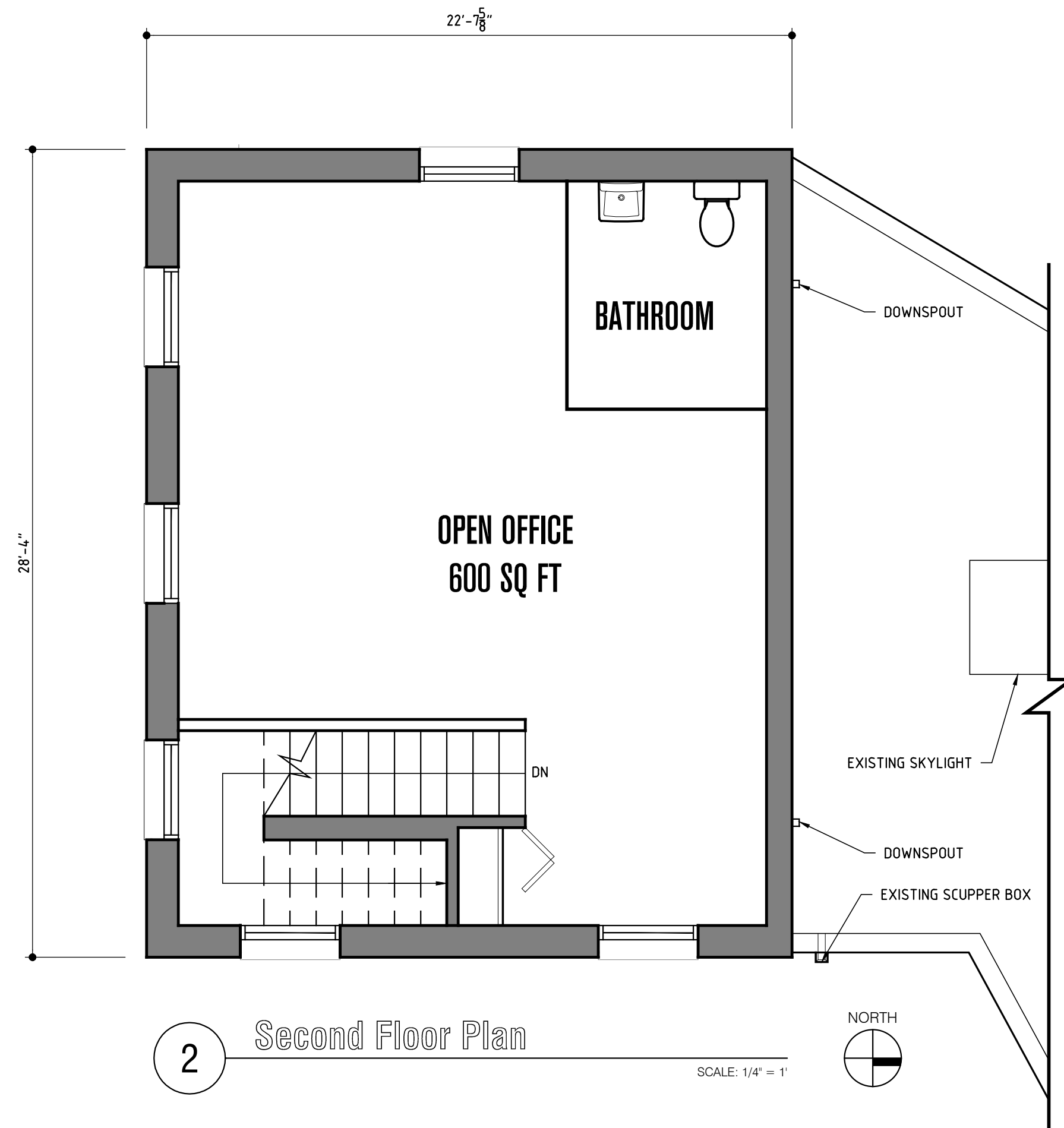
DESIGNHAUS ARCHITECTURE
EST. 1998

3300 AUBURN RD., SUITE 300
AUBURN HILLS, MI 48326
T: 248.601.4422 F: 248.453.5854
WWW.DESIGNHAUS.COM
INFO@DESIGNHAUS.COM

313 South St - Building Addition
313 South St
Rochester, MI 48307
Landscape Plan

024148

LS1.1

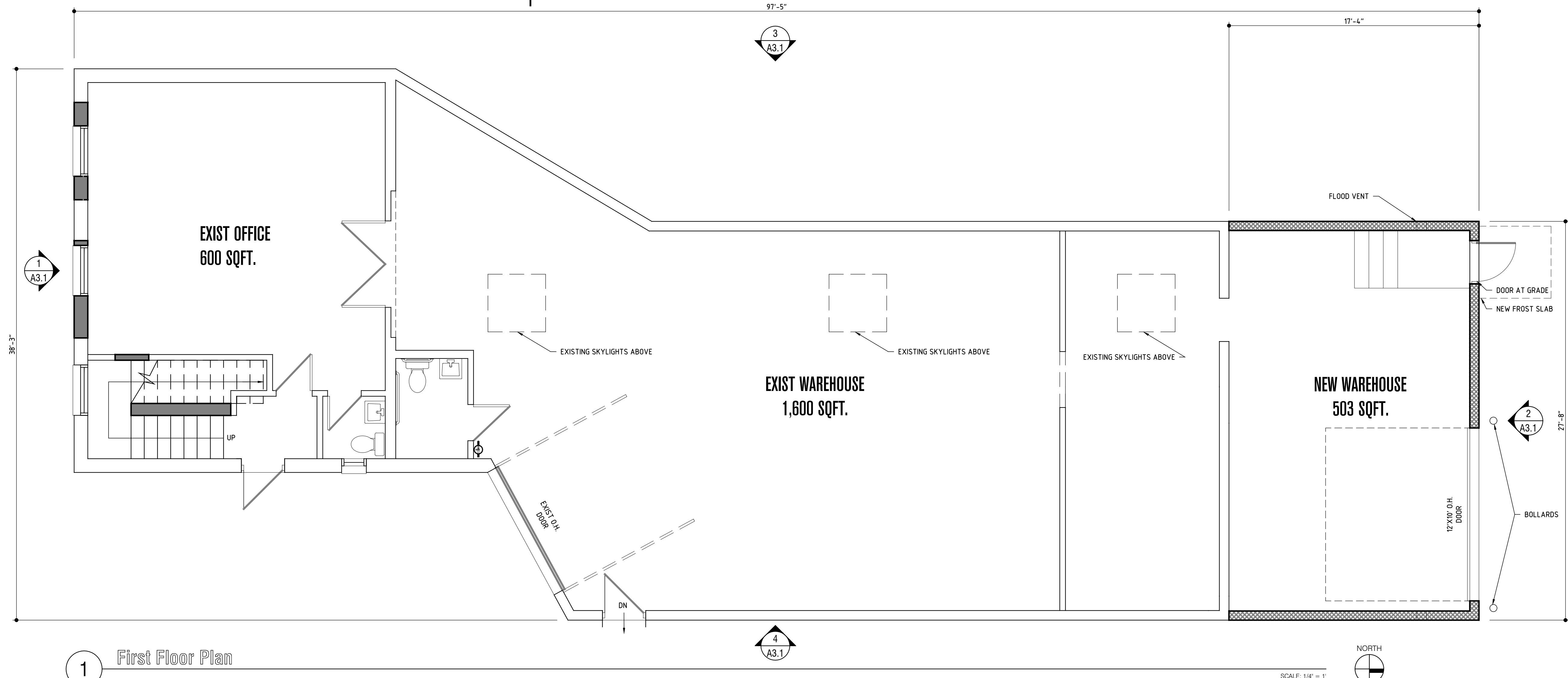


2 Second Floor Plan

SCALE: 1/4" = 1'

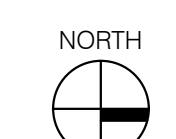


USE STATEMENT
 PER 1701-1 WAREHOUSE AND STORAGE OF GOODS RELATED TO THE EQUIPMENT, VEHICLES, SUPPLIES, FILES, INVENTORY AND THEIR RELATED ADMINISTRATIVE AGENCIES OF TENANT'S PRIVATE BUSINESS VENTURES AND REAL ESTATE DEVELOPMENTS.



1 First Floor Plan

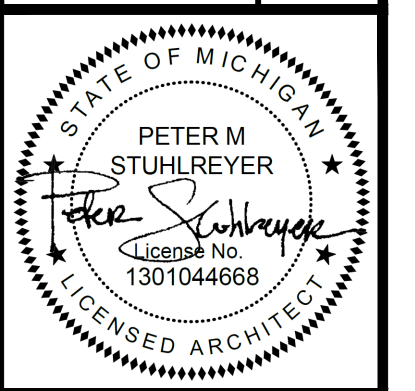
SCALE: 1/4" = 1'



DESIGNHAUS
 EST 1998
ARCHITECTURE

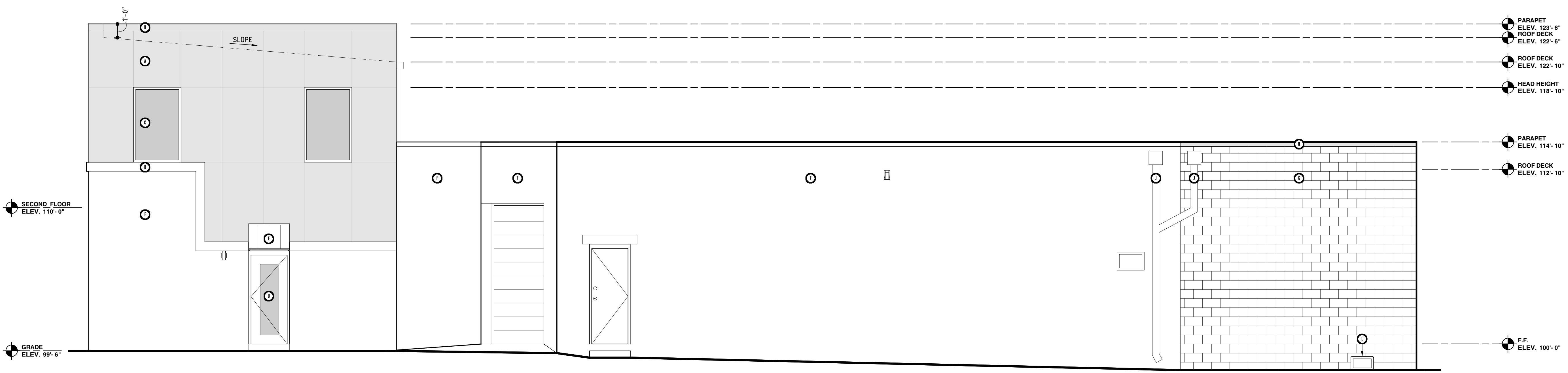
3300 AUBURN RD, SUITE 300
 AUBURN HILLS, MI 48326
 T: 248.601.4422 F: 248.453.5854
 WWW.DESIGNHAUS.COM
 INFO@DESIGNHAUS.COM

ISSUANCE	DATE
SPA	01.30.25
SPA REV#1	03.03.25
ZBA	04.08.25
SPA REV #2	07.10.25
SPA REV #3	08.06.25



313 South St - Building Addition
 313 South St
 Rochester, MI 48307
Floor Plans

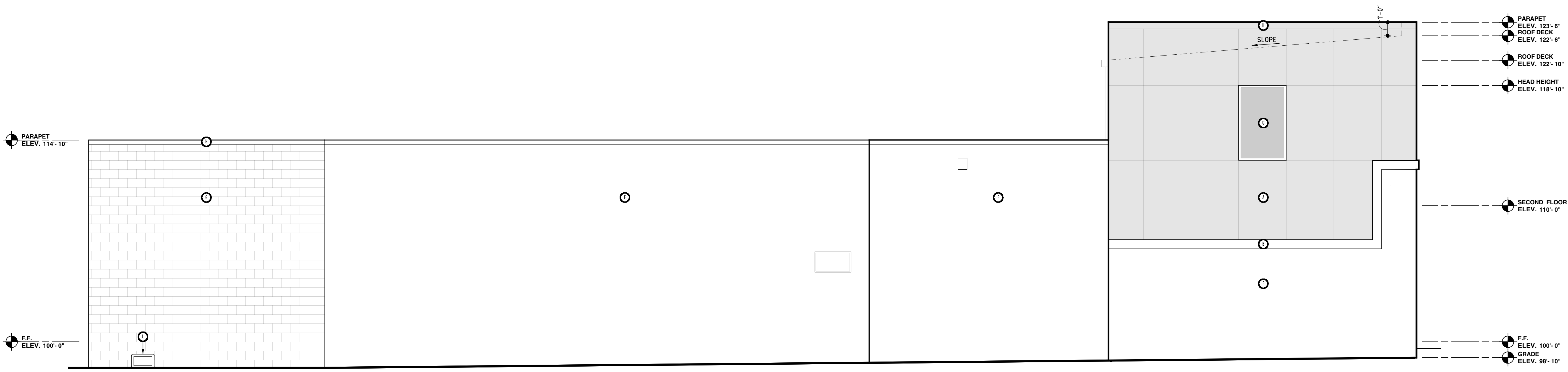
024148
A1.1



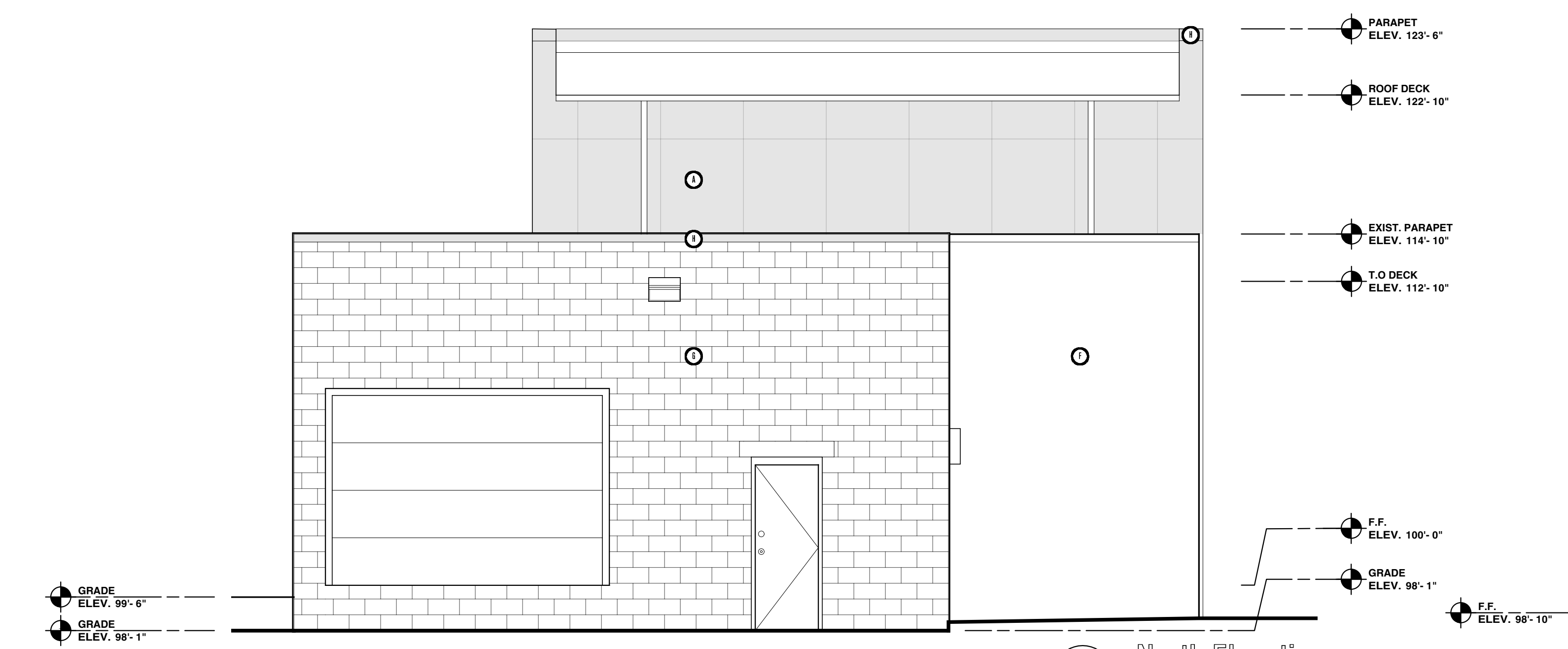
MATERIAL LEGEND

(A)	CHARCOAL GREY METAL PANEL
(B)	WHITE METAL ACCENT STRIP
(C)	GLAZING
(D)	NEW DOOR IN EXISTING OPENING
(E)	CHARCOAL GREY METAL CANOPY
(F)	EXISTING CMU STAINED WHITE
(G)	PROPOSED CMU STAINED WHITE
(H)	CHARCOAL GREY PREFABRICATED METAL COPING
(J)	EXIST DOWNSPOUT
(K)	PROPOSED CHARCOAL GREY DOWNSPOUT
(L)	8"x16" FLOOD VENT
(M)	EXISTING OPENING

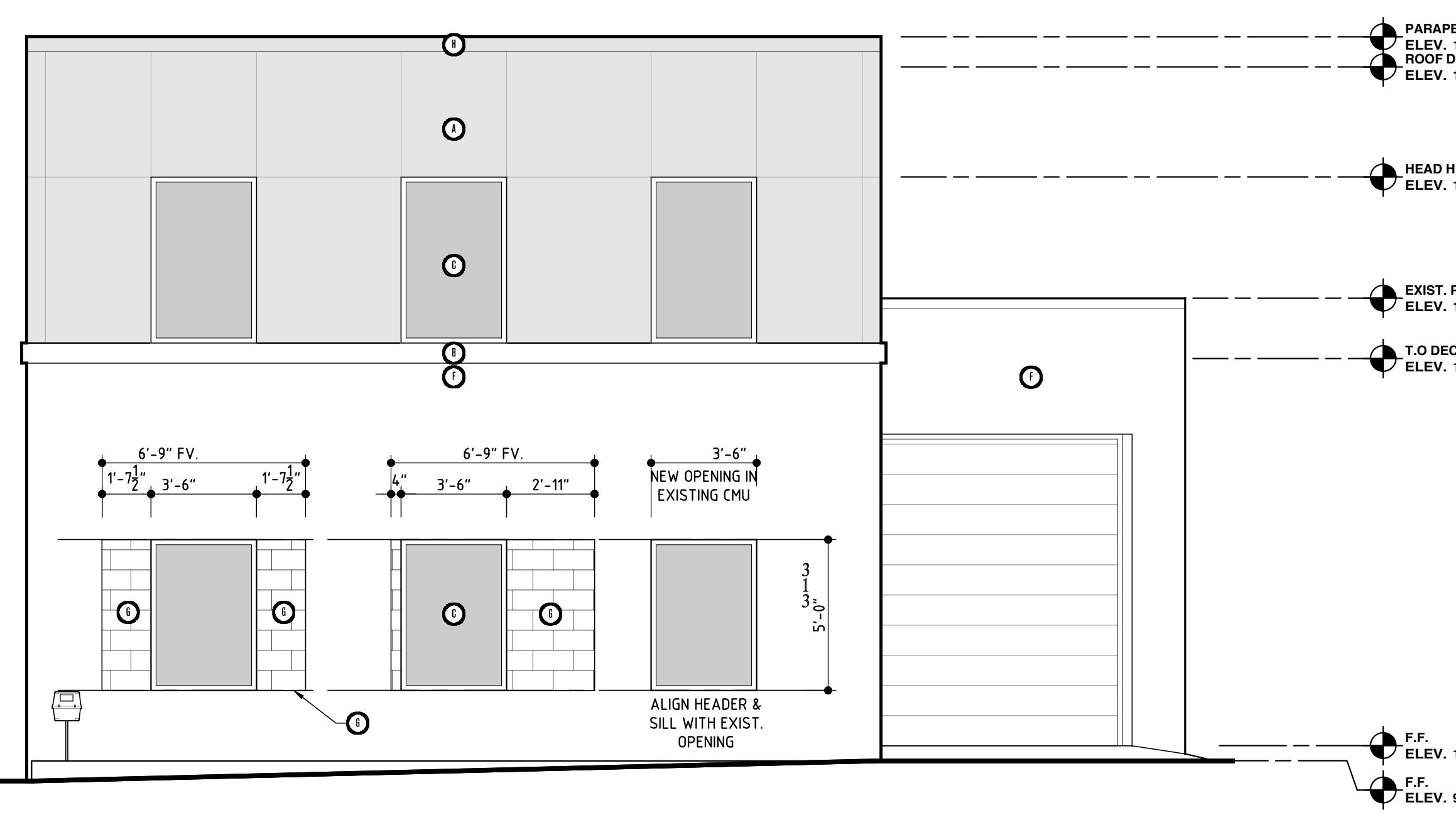
4 East Elevation
SCALE: 1/4" = 1'



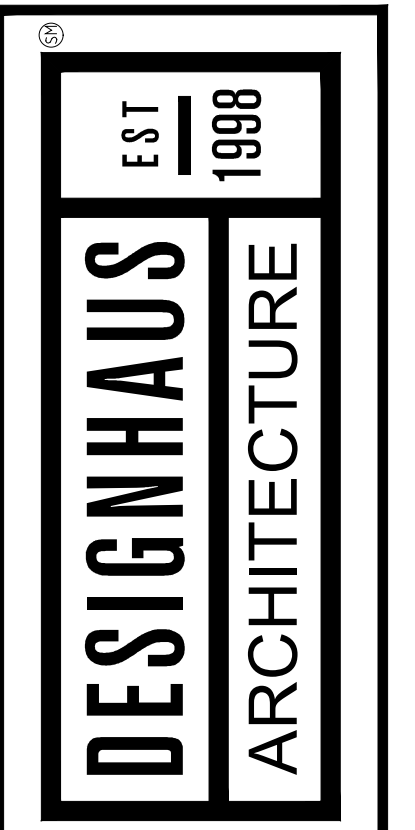
3 West Elevation
SCALE: 1/4" = 1'



2 North Elevation
SCALE: 1/4" = 1'



1 South Elevation
SCALE: 1/4" = 1'



3300 AUBURN RD, SUITE 300
AUBURN HILLS, MI 48326
T: 248.601.4422 F: 248.453.5854
WWW.DESIGNHAUS.COM
INFO@DESIGNHAUS.COM

ISSUANCE	DATE
SPA REV#1	03.03.25
SPA	01.30.25
ZBA	04.08.25
SPA REV#2	07.10.25
SPA REV#3	08.06.25



313 South St - Building Addition
313 South St
Rochester, MI 48307
Building Elevations

024148
A3.1

A3.1 Building Elevations.dwg
8/6/2025
Juan Pina



City of Rochester

400 Sixth Street
Rochester, MI 48307
P: (248) 733-3700
F: (248) 733-3170
www.rochestermi.org

Planning Commission

RE-NOTICE OF PUBLIC HEARING

400 Sixth Street	September 2, 2025	7:00 pm
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NOTICE IS HEREBY GIVEN THAT THE ROCHESTER PLANNING COMMISSION will hold a Public Hearing for the consideration of a Special Project and site plan approval with façade changes. The site is located at 120 South Main St. The public hearing is scheduled for **Monday September 2, 2025, at 7:00 p.m.** at the Rochester Municipal Offices, 400 Sixth Street, Rochester, MI 48307.

All interested citizens are requested to attend the Hearing. Public comments may be submitted in writing or presented orally at the time of the meeting. To submit written comments in advance, or for assistance and questions about accessing and/or making public comment during the meeting, our Planning Coordinator can provide assistance; please reach out to Jeremy Peckens at (248) 733-3700 or by email: Jpeckens@rochestermi.org.

If you are unable to be present at the Public Hearing, please submit your written comments to the Office of the City Manager, Rochester Municipal Offices, 400 Sixth Street, Rochester, MI 48307, **PRIOR** to the scheduled Public Hearing.

For further information, please contact **Jeremy Peckens, Planning and Zoning Administrator, at 248-733-3700**. See Planning Commission Agenda Packet for Zoom participation information.

*Publish: Oakland Press: **Publish on or before August 18, 2025***

NOTE: Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248-733-3700 forty-eight (48) hours prior to the meeting. Staff will be pleased to make the necessary arrangements to provide necessary reasonable accommodations, including auxiliary aids and services, such as signers for the hearing impaired and audiotapes of printed materials being considered at the meeting.



MCKENNA

August 24, 2025

Planning Commission
City of Rochester
400 Sixth Street
Rochester, MI 48307

Subject: 120 S. Main Medical Office; site plan and special projects review #1; Revised Site plan and elevations dated 8/1/2025, plus supplementary information.

Dear Commissioners:

At the City’s request, we have reviewed a proposal from Travis Riley on behalf of Michigan Capital Partners LLC to operate a medical office within an existing building downtown. The applicant proposes constructing a 1,280 sq. ft addition to the existing 2,000 sq. ft building to accommodate the new physical therapy medical office. The subject site is located on the east side of Main Street, at the entrance to downtown on a 0.7-acre site. The site is zoned, CBD (Central Business District).

The CBD District does not permit medical offices, which are currently permitted only in the O-1 Office district. However, per Section 2115 of the Zoning Ordinance, an applicant can seek special project approval from the PC to facilitate the development of a project on a site, in an innovative manner which cannot be accomplished by a strict application of the regulations of the Zoning Ordinance. A request for special projects approval grants the PC flexibility and discretionary approval authority for a site plan. The site is identified in the Master Land Use Plan map as a “Special Projects Area.” Per the Master Plan adopted by the City in April 2022, the site is designated as Central Business District.

The applicant appeared before the Planning Commission for a preliminary hearing on August 4, 2025. The PC provided the applicant with some feedback and directed the applicant to submit a revised set of plans addressing all of the comments noted in our preliminary letter (as discussed). The project was set for public hearing at the September 1, 2025, meeting.

PROCESS

Per Section 2115 of the Zoning Ordinance, the process involves several steps:

- Step 1: Application to PC - completed;
- Step 2: Public hearing at PC meeting - **current stage of project;**
- Step 3: PC forwarding all materials to City Council with a recommendation on the project and extension of the special project boundary line;
- Step 4: City Council action on project – disapproval/approval /approval with conditions in writing.

REVIEW COMMENTS

Article 27, Section 2701 of the Zoning Ordinance, outlines the requirements for site plan review. We offer the following comments for your consideration:

HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

☎ 248.596.0920
☎ 248.596.0930
MCKA.COM

Communities for real life.



1. **Use.** The proposed use involves the construction of an addition to an existing vacant building. The building was previously used as an auto garage. The applicant plans to make changes to the building to accommodate two (2) physical therapy professionals.
2. **Setbacks.** There are no specific side or front yard setback requirements for parcels in the CBD District. The existing building is located approximately 97.5' from Main Street. The construction of the 20' wide addition being the structure to a setback of approximately 77.5'.
3. **Vehicle Access.** The site has an existing 27.5' wide access drive off Main Street which is to remain unchanged and facilitates two-way movement of vehicles. Lanes of ingress and egress are to be striped on the pavement. The access drive leads to a parking area with a 30' wide drive aisle which exceeds the required width of 24'.
4. **Traffic.** The proposed use is not expected to generate traffic beyond what is typical for most uses/businesses in the CBD. The hours of operation are 5 am – 8 pm Monday through Friday. The floor plan indicates a lobby area, restrooms, and small staff area with most of the floor area devoted to 'therapy.' Therefore, a separate traffic impact study is not required.
5. **Pedestrian Access.** The site has an existing 18' wide sidewalk along its Main Street frontage. The sidewalk has several DDA installed tree planted islands. The plan also notes a 11' wide sidewalk on the west side of the proposed addition which is located at the same grade as the parking lot. The sidewalk tapers to 6' width on the south side of the building to allow for safe pedestrian access from the parking lot to the building. The parking spaces abutting this sidewalk area are provided with bumper blocks to prevent vehicle encroachment onto the sidewalk and to protect the building.
6. **Off-Street Parking.** Parking requirement for medical offices is 1 space per 200 sq. ft of GFA. Based upon a total area of 3280 sq. ft, the site requires a total of 16 parking spaces. The site has an existing parking area on the west side of the building along Main Street shown with 20 parking spaces including two (2) handicap accessible spaces. All of the spaces on the site are 10' x 18' and comply with ordinance standards. The two barrier-free accessible spaces are also ADA compliant. Due to the nature of the business, a dedicated loading space is not required per Section 2405.
6. **Architecture.** The existing building is constructed of concrete block to be painted dark grey. The proposed addition will conceal the existing building from direct view of Main Street and is to be constructed of dark grey engineered wood siding and provided with a black fiberglass shingled roof. The front (west) façade will incorporate several overhead clear glass doors with black metal frame, creating an indoor-outdoor appearance which is in keeping with the CBD intent to present pedestrian a friendly facade. Each of the overhead doors is to be provided with black canvas awning, while the main entrance awning will be red canvas. The colored rendering has been revised to match the elevations.
7. **Landscaping.** The subject site has existing tree and underbrush cover along the east and south sides. The property slopes significantly to the east and applicants have stated that they intend to leave the east and south sides of the site undisturbed except for some underbrush clearing. The only landscaping noted on the plan is a row of 5' tall arborvitae on the south side of the building to screen the mechanical equipment.

We had previously noted that the site currently has parking that abuts the Main Street sidewalk and is provided with bumper blocks. The drive aisle within the site is 30 feet wide when the ordinance only requires a



width of 24 feet. The site is the first property visible while entering the downtown area across the bridge. We had recommended that the applicant create a 5-foot-wide greenbelt to be planted with ornamental grass along the west property line to provide for a separation between vehicles on-site and the pedestrians on the sidewalk. The greenbelt will also serve to cut down headlights from shing directly onto Main Street and vehicles driving on it. Many species of ornamental grasses are resilient and grow within narrow spaces. The addition of a greenbelt will greatly enhance the visual appeal of the site. The applicant has responded stating that “we prefer to have a 30’ wide drive aisle to allow for 3 car spaces at the south part of the parking lot and to allow for better exit maneuvering for those parking spaces”. Incorporation of a 5’ wide greenbelt will result in the loss of only one parking space. The site is overparked and exceeds ordinance requirements. The loss of one space is not going to impact the functioning of the site. Each space is 10 feet wide. Creating the 5’ wide greenbelt will still allow for 25 feet width for the two parking spaces on the south side (ordinance requires 19’ for 2 spaces width) along with ample maneuvering area. This recommendation is consistent with the intent of the CBD district to promote pedestrian friendly and pedestrian safe site designs, irrespective of the project being a site plan approval or a special project.

The revised renderings also eliminate the 2 planters that were previously shown on either side of the main entrance to the building. We recommend that the applicant install the planters as previously shown because it provides visual relief from the expanse of concrete (sidewalk) and asphalt (parking) which are all at the same grade. The Planning Commission has required planters with perennial plantings alongside main entrance on other sites within the CBD where it does not impede pedestrian access.

8. **Tree Removal.** The applicant notes that no trees are proposed for removal as part of this project.
9. **Lighting.** Lighting forms a very important aspect in the appearance of a site. Per the elevations, wall mounted decorative gooseneck style fixtures will be installed on the front façade, **behind** the awnings. This will give the appearance of backlit awnings and provide adequate illumination for patrons.
10. **Trash.** Per the site plan trash and recycling will be stored inside the building and placed in containers next to the mechanical equipment area on trash pick-up day. Clarify how this will be accomplished because there is no direct access to this trash storage area. If the intent is to use the City’s trash pick-up service or private service with dumpster trucks, a trash truck circulation diagram must be provided. Trash trucks cannot use the barrier free accessible striped area for parking and maneuvering.
11. **Signage.** The elevations note proposed wall mounted signage above the main entrance canopy. No ground mounted signs are proposed. All proposed signage must be submitted for administrative approval prior to installation.
13. **Special Project Consideration.** As a special project, the applicant must demonstrate public benefit being provided by the project. At the preliminary hearing we had noted the requirement for the applicant to provide a written statement in this regard as required by Section 2115 (B) (5) of the Zoning Ordinance. We have not received any information in this regard.

RECOMMENDATION

The subject site is a challenging site which was formerly occupied by a use that is now prohibited in the CBD. The applicant’s adaptive reuse of the building and facade improvements are a significant step in improving the visual appearance at the entrance to the City’s downtown. However, the applicant must state in writing the benefits to the City as a whole while seeking approval for a use in a district where it would otherwise not be permitted.



The project is before the Planning Commission for a public hearing at this time. Therefore, we recommend that the Planning Commission discuss the project at this meeting and provided it satisfies all the questions and concerns raised, recommend it to the City Council for consideration of special projects approval. The recommendation is subject to the following conditions:

1. Installation of a 5' wide landscape greenbelt along the site's frontage on Main Street and to be planted with tall ornamental grasses.
2. Installation of two (2) planters at the main entrance door to the building to be planted with perennial shrubs.
3. Clarification regarding proposed method of trash pick-up to the satisfaction of the Planning Commission.
4. Approval of all signage by City Administration prior to installation.
5. Planning Commission and City Council approval of the public benefit secured by the project.

Respectfully submitted,
McKENNA

Ms. Vidya Krishnan
Senior Principal Planner

Cc: Jeremy Peckens
Nik Banda
Rose McKinney
Jeff Kragt, City Attorney
John Ceislik, Fire Chief

August 15, 2025

To: City of Rochester

From: Travis Riley, Managing Member of Michigan Capital Partners, LLC

RE: New Tenant for 120 S. Main, Rochester and required improvements

About the Property:

120 S. Main is the first property located on the east side as one enters town northbound along Rochester Road. Previously used as an auto repair facility, the site has recently been considered for several redevelopment initiatives. Since none of these redevelopment efforts have materialized, the ownership group has shifted its focus to securing a long-term, stable tenant for the property. In anticipation of this, the ownership group has proactively initiated preparations of the existing building for tenancy, as detailed in the following Scope of Work.

About the Tenant:

The tenant will consist of two local business owners who are combining their respective expertise to establish a contemporary physical therapy practice. Although the entity name is still being determined, it will be formed by Doug Ferner II of HQ Fitness and Dr. Thomas Nability. The new business will specialize in injury rehabilitation using advanced methods, including cryotherapy and infrared saunas. The entity will lease the entire building under a 7-year agreement, providing long-term occupancy for the property.

Addition Needed for Tenant:

The tenant requires a minimum of 3,000 square feet of space. The current building has 2,000 square feet, resulting in the need to add at least 1,000 square feet. An architectural review of code and setback requirements found that an addition on the building's western side meets all setback regulations and remains within the property's height limitations. The proposed addition also incorporates a new façade aligned with the appearance of other buildings on Main Street.

Hours of Operation:

The new business will operate on an appointment basis from 5am through 8pm Monday through Friday.

Parking Lot Calculation:

According to Municode, this property is subject to the requirement of one parking space per 200 square feet. With the proposed addition of 1,280 square feet, 17 parking spaces would be required. The architect's parking plan provides 20 spaces. The proposed use therefore includes more parking spaces than are required by code.

Floor Plan Layout:

Please see attached building plans to show layout of proposed building and improvements.

Cut Sheets for Outdoor Lighting:

Only soffit downlights are planned for the exterior of the property, specifically on the west side of the building. These will illuminate the front without causing light pollution. Existing City streetlights already ensure safe access at night. See attached Juno Wafer LED Downlight Series cut sheet.

Sign Details:

The sign is tentatively planned to be mounted on the front (western facing) of the building as shown on the colored renderings. The logo and sign are still to be designed. It is understood that we will need to work with Nik Banda for final approval of the sign.

Color Rendering with Material Details:

The property currently has a one-story painted block building. The proposed plan adds a 1,280 sq. ft. one-story wood-framed addition at the front, featuring an asphalt shingle roof, three matching glass garage doors, a new retail aluminum storefront, and painted LP Smartside Engineered siding and trim. Refer to the attached renderings for the planned color scheme.

Description of Scope of Work:

- Addition of 1,280 square feet on the western side of the building.
- Addition to be clad with LP Smartside Engineered Siding, aluminum retail storefront and 3 glass garage doors.
- The existing building will be fully tuckpointed and repainted.
- All remaining windows will be replaced with new windows in the existing openings, with the exception of the 3 windows being infilled with block.
- The existing roof will be torn off and replaced.

- The existing electrical will be updated.
- The parking lot will be removed and replaced in its existing location, with new parking spots being striped per the submitted plan.
- The interior of the building will be built out to plan.

Impact and Benefit to the City – Special Projects:

This property has been the center of many efforts for redevelopment over the last several years. Despite several different prominent developers and architects' best efforts, no proposed redevelopment has been advanced through the City with any success. As an Ownership group, we took a step back and worked to find a community centric use for the existing building. After interviewing several prospective tenants and discussing with the City, we found Doug Ferner and Dr. Thomas Nability who were looking for space to combine their respective expertise's to open a business focused on progressive physical therapy. Mr. Ferner owns a gym at the north end of town currently, HIIT Quarters, and will offer his expertise to strengthen individuals who need physical therapy and rehabilitation. Dr. Nability is a physical medicine, rehabilitation and pain management doctor with his primary office just down the street on Rochester Road. As an Ownership group, we wanted to find a use that would offer a service that many residents routinely need with operators who are already in Rochester – both the use and the operators more than meet what we were looking for.

From a strict property view, we have worked with our architect to design improvements that would both bring the building from its current, tired state and blend well with the existing designs and colors in the downtown area. We have come up with a design that fits well within our building envelope, compliments other structures and buildings in the area, as well as improves every aspect of the property.

Approving this use and design offers significant advantages, as it revitalizes a long-vacant property and provides established Rochester businesses with a new and inviting location. With this being the first parcel in Rochester, the use and renovation would be an appealing and appropriate welcome to visitors as they cross the bridge over Mill Street.

Construction Team:

General Contractor – Travis Riley of Managed Properties, LLC – 248.245.8185

Architect – Bert Koseck of Koseck Architecture – 248.302.4018

Summary:

As the Representative of the Ownership Group and General Contractor, I am eager to advance this project, which will be occupied by established business owners committed to a long-term presence. The proposed use and addition comply fully with zoning requirements and exceed parking standards, ensuring a stable tenancy that benefits residents. I look forward to working with the City to bring this project to fruition upon approval.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Travis Riley', with a stylized, cursive script.

Travis Riley

August 1, 2025

Ms. Vidya Krishnan- Senior Principal Planner - McKenna
Planning Commission – City of Rochester
400 Sixth Street
Rochester, Michigan 48307

SUBJECT

120 S. Main Development Project – Response to Preliminary Plan Review received by McKenna (dated July 30, 2025)

Dear Ms. Krishnan,

Please let this letter along with the updated drawings serve as the formal response to your questions/comments from your review letter. Your written part is shown along with our response in red (below yours).

REVIEW COMMENTS

1. Correct notation of zoning designation on Sheet A.00. The site is zoned “Central Business District,” not “General Business.”
Drawings have been updated to address this item.
2. Note property line dimensions on the site plan.
Drawings have been updated to address this item.
3. The site has an existing access drive off Main Street which is to remain unchanged. Note width of existing access drive off Main Street and indicate lanes of ingress and egress through pavement striping.
Drawings have been updated to address this item.
4. Note the width of public sidewalk along Main Street frontage. The plan proposes a 5’ wide concrete sidewalk connection from Main Street to the west side of the building.
Drawings have been updated to address this item.
5. Clarify if the sidewalk areas shown on the west side of the building are at grade or raised. Identify ramp locations.
Drawings have been updated to address this item.
6. Clarify if any improvements are to be made to the east Main Street Alley which abuts the east property line of the site. The area is a steep slope with a significant grade change from the site down to the alley. If no change is proposed, add a note to the plans.
Drawings have been updated to address this item.
7. Note proposed method of trash removal from the site. If the intent is to have a trash truck on-site for pick up, provide a truck circulation plan.
Drawings have been updated to address this item.
8. Parking requirement for medical offices is 1 space per 200 sq. ft of GFA. Based upon a total area of 3280 sq. ft, the site requires a total of 16 parking spaces. The site has an existing parking area on the west side of the building along Main Street shown with 20 parking spaces including one (1) handicap accessible space. Since the proposed use is a physical therapy office, it would be reasonable to assume that many patrons may have mobility and other issues. Since the site has more than the required parking, we recommend that the extra spaces be converted to handicap accessible spaces to serve the patients.
We have modified the parking layout such that two barrier free car spaces are now shown with a common shared transfer area adjacent to the building front entrance.
9. Due to the nature of the business, a dedicated loading space is not required per Section 2405.
Acknowledged.

10. The applicant's written narrative with the site plan notes that "only soffit downlights" are planned for the exterior of the property. However, the colored renderings submitted include details of a gooseneck style wall mounted fixture. Where are these fixtures to be installed?

The proposed light fixture is wall-mounted within the awning above each front elevation window (refer to elevation note and cross section)

11. The site has a significant number of trees along its south/southeast side. The plan includes a tree survey list of 45 trees, but no information if any of these trees are proposed for removal. The site plan merely shows a few large circles on the south side representing trees. Clarify if any of the existing trees are to be removed. Chapter 20, Article II of the code of ordinances includes the Tree Ordinance which requires a minimum preservation of 80% of trees with a dbh of 7" or greater and evergreen trees over 20 feet tall. Replacement trees must be provided as required.

Refer to the site survey drawing for specific locations, types, and size of existing trees. No trees are proposed to be removed only the overgrown underbrush.

12. A detailed landscape plan must be submitted showing existing and proposed landscaping on the site.

Other than the small lawn area immediately south of the building, no landscape plant material is proposed therefore no landscape plan has been provided.

13. The site currently has parking that abuts the Main Street sidewalk and is provided with bumper blocks. The drive aisle within the site is 30 feet wide when the ordinance only requires a width of 24 feet. The site is the first property visible while entering the downtown area across the bridge. We recommend that the applicant create a 5-foot-wide greenbelt to be planted with ornamental grass along the west property line to provide for a separation between vehicles on-site and the pedestrians on the sidewalk. Many species of ornamental grasses are resilient and grow within narrow spaces. The addition of a greenbelt will greatly enhance the visual appeal of the site.

We prefer to have a 30' wide drive aisle to allow for a total of three car spaces at the south part of the parking lot and to allow for better exit maneuvering for those parking spaces (in the dead-end area).

14. Note proposed method of irrigation. The site plan includes language on landscape requirements from the ordinance but no clarification if they are to be met. We recommend an automatic irrigation system be installed.

Automatic irrigation system to serve the sod/lawn area is now shown.

15. The colored rendering shows tall planters on either side of the main entrance door. Show planter locations on site plan and provide manufacturer's cut sheet detail for proposed planters along with the plantings

The planters flanking the front entrance are no longer proposed,

16. What is the expanse of area shown on the south side of the proposed addition?

Sod/lawn area.

17. Some of the labels on the elevation sheet do not appear to be correct. For example: #12 has an arrow pointing to a fixture on an awning, while #12 is listed as a 'wall' on the label legend.

Drawings have been updated to address this item..

18. The rendering notes the canvas awning color as "to be determined." The color of the awning must be determined at this time and approved by the Planning Commission.

Refer to updated material/color document.

Please reach out to me directly with any additional questions (cell number is 248-302-4018).

Thank you.



Bert H. Koseck, Licensed Architect / LEED AP



City of Rochester

RECEIVED

JUL 08 2025

CITY OF ROCHESTER

400 Sixth Street
Rochester, MI 48307
P: (248) 651-9061
F: (248) 651-2624
www.rochestermi.org

PLANNING COMMISSION SITE PLAN PROCEDURE GUIDE

The Rochester Zoning Ordinance requires site plan approval in a number of situations. This Procedure Guide is intended to assist you in processing a site plan. This guide does not replace nor supersede any provisions of the Zoning Ordinance or any other Code of Ordinance of the City. It is recommended that you obtain a copy of the Zoning Ordinance, as amended. The attached form must be submitted with your request for site plan review.

The Planning Commission will examine the impact of the proposed development on adjoining and nearby properties, persons and activities and will, therefore, be interested in the configuration of the new structures, durability and standards of design. The site plan submittal shall accurately depict the location, height, mass of buildings, grading plans and typical elevations and all other data required by Article 27 of the Zoning Ordinance. Site plans deemed to be incomplete may be returned by the city without placing them on the Planning Commission agenda or the Planning Commission may table (postpone) the site plan review without discussion. Final building plans are not required as part of the site plan submittal; however, a Building Permit cannot be issued except for the plans that conform to the site plan and final engineering approval. Site plan approval by the City does not include a finding of conformance with deed restrictions. If the site plan involves a need for variance from the Board of Appeals, the site plan should first be submitted to the Planning Commission so that the Board of Appeals may benefit from the findings of the Planning Commission. In such cases, the Planning Commission may, in its discretion, grant a site plan approval conditioned on Board of Appeals action. The Planning Commission may also refer the matter to the Board of Appeals without taking action on the proposed site plan.

DEADLINES

- Site plan submittals must be received by the Permit Coordinator no later than 4:00 p.m., four (4) weeks prior to the next regular meeting of the Planning Commission.
- On items that have been previously considered by the Planning Commission, the revised submittals must be submitted to the Permit Coordinator no later than 4:00 p.m., three (3) weeks prior to the next regular meeting of the Planning Commission.
- The city will review the submitted documents and inform the applicant when it will be on the schedule for Planning Commission consideration. There are no set timelines for submittals, as they are dependent on thoroughness of the submitted documents and any revisions that are needed.

Note: The Planning Commission normally meets the first Monday of each month at 7:00 p.m. in the Municipal Building, 400 Sixth Street. Please check the city website for the date of each meeting.

REQUIREMENTS

- Provide all required documentation and appropriate fee(s) to the Permit Coordinator at jpeckens@rochestermi.org.
- Provide 1 DIGITAL (flash drive) & 9 COPIES of the blueprint drawings of the site plan (pre-folded to ¼ size with the blueprint seal on the outside), including the completed application, any correspondence & written supporting documents.

- Provide a check payable to the City of Rochester for the site plan/special exception/special project/rezoning submittal fee (see page 2 for appropriate fee amounts).

APPEARANCE IS REQUIRED:

APPLICANT OR A REPRESENTATIVE FOR THE APPLICANT MUST ATTEND THE PLANNING COMMISSION MEETING IN ORDER TO ANSWER ANY QUESTIONS BY THE COMMISSION MEMBERS. FAILURE OF THE APPLICANT OR APPLICANT REPRESENTATIVE TO ATTEND THE PLANNING COMMISSION MEETING MAY RESULT IN TABLING CONSIDERATION OF THE SITE PLAN OR DENIAL OF THE SITE PLAN.

SCHEDULE OF FEES:

Until all applicable fees have been paid in full, no action shall be taken on any application or appeal. The schedule of fees shall be as follows:

APPLICATION FOR:	FEE:
ZONING BOARD OF APPEALS	\$400
Administrative Processing Fee	\$100
Special Planning Commission Meeting	\$1500
REZONING APPLICATION	
Administrative Processing Fee	\$100
Rezoning Application, less than one acre	\$750
Rezoning Application, more than one acre	\$50 per additional each
SITE PLAN APPLICATION	
Administrative Processing Fee	\$100
Site Plan Review, less than one acre	\$1,250 first review, \$500 each review, thereafter, subject to \$500 resubmittal fee.
Site Plan Review, more than one acre	\$1,250 for 1st acre + \$50 per each additional acre, each review, thereafter, subject to \$500 resubmittal fee.
CONDOMINIUM PLAN APPLICATION	
Administrative Processing Fee	\$100
Condo Project Application, less than one acre	\$1,000 first review. Each review, thereafter, subject to \$500 resubmittal fee.
Condo Project Application, more than one acre	\$1,000 first review + \$50 per each additional acre, each review, thereafter, subject to \$500 resubmittal fee.

OTHER	
Special Exception Hearing Application	\$500
Special Project Application within a Potential Intensity Change Area (PICA)	\$500
Community / Traffic Impact Study Review	As billed by City Consultant

In addition to the aforementioned fees, the applicant shall be responsible for all necessary engineering costs incurred by the City in processing applications for rezoning and/or site plan approval. A cash deposit (as determined by Administration) shall be deposited by the applicant with the City before any such engineering costs are incurred. Thereafter, all engineering costs shall be deducted from said deposit as incurred from time to time. In the event that said deposit shall be insufficient to cover all such engineering costs, the applicant shall be required to deposit additional sums as determined by the City to be necessary to completely recover the remainder of said engineering costs prior to the continuation of such engineering services. An applicant's failure to deposit such additional sums shall result in a cessation of further engineering services or building inspections by the City and may constitute an abandonment of the application. Upon completion or abandonment, as provided for below, all remaining deposits on hand shall be refunded to the applicant.

Inactivity on the part of an applicant for a period of ninety (90) days or longer in the processing of a rezoning request and/or a site plan approval request, shall be deemed an abandonment of the application requiring submission of a new application and repayment of the above fees, unless prior approval of the applicable board or commission is obtained for a longer period of delay due to extenuating circumstances.

PLANNING COMMISSION - APPLICATION FOR APPROVAL OF SITE PLAN/SPECIAL EXCEPTION/SPECIAL PROJECT

Return to Permit Coordinator with check & required documents listed on page 1

Date Filed : _____ Amount of Review Fee Paid : \$ _____

Approval of the site plan is hereby requested for the following parcel of land in the City of Rochester. This application is submitted with the required number of copies of the site plan and payment of the appropriate review fee. The checklist below has been completed to certify the data contained on the site plan. If the required data is not reflected in the site plan, the appropriate box has been checked and a detailed statement is attached explaining why the data is not provided. I understand that if my site plan is deemed to be incomplete, it may be returned by the city without being placed on the Planning Commission agenda or the Planning Commission my table (postpone) the site plan without discussion. By signing this application, the undersigned hereby grants full authority to the City of Rochester, its agents, employees, representatives and/or appointees to enter upon the undersigned lands and properties for the purpose of inspection and examination incidental hereto.

PROJECT COORDINATOR'S NAME: TRAVIS RILEY

PROJECT COORDINATOR'S E-MAIL ADDRESS:

travis@revivernich.com

PROJECT COORDINATOR'S PRIMARY PHONE NUMBER:

298.245.8185

1. Name of proposed development:

120 S. MAIN MEDICAL OFFICE

2. Location of property: EAST side of MAIN ST. Road, between

MILL and SECOND Roads.

3. Street address:

120 S. MAIN

4. The property is presently zoned as:

CSO

5. The total site area is

.7 ACRES acres(s).

6. Portion of total site being developed:

3,280 SF

7. It is proposed the property will be developed as:

MEDICAL OFFICE

8. A Special Exception is being requested. Yes No.

9. Site Plan - Required Data: Check the appropriate line. If "not provided" line is checked, attach detailed explanation.

PROVIDED	NOT PROVIDED	DESCRIPTION
		a. Date, including revision.
		b. Plan scale of 1" equals 10', 1" = 40'
		c. North arrow.

		d. Inserted location sketch showing location of subject property in the mile section.
		e. The seal of one or more of the following: registered architect, registered civil engineer, registered land surveyor, registered landscape architect or registered community planner.
		f. Existing and proposed grades at all lot corners and catch basins, and at a plan grid interval of not more than fifty (50) feet along all lot lines, road center lines and on the site and beyond for at least fifty (50) feet. Any proposed change of more than twenty-four (24) inches in the existing grade shall require specific approval by the Planning Commission as part of a site plan. Highlight any grade changes in excess of 24".
		g. Existing building(s) and street(s) on site and within one hundred (100) feet of site.
		h. Center line and existing and proposed right-of-way lines of all streets and roads on property or adjoining roads or streets.
		i. Boundaries of subject property including distances and bearings.
		j. Proposed buildings and structures on property, including off street parking; walkways, walls, carports and trash receptacles; dimensions of improvements; and acceleration, deceleration and passing lanes, designation of fire lanes and/or other areas in which parking will be prohibited.
		k. Any proposed sidewalks or walkways within the right-of-way of adjoining roads or streets.
		l. Sufficient information describing the proposed use and occupancy of the premises to ascertain compliance with the use of regulations of the district.
		m. As applicable, number of dwelling units, number of bedrooms, number of off-street parking spaces per dwelling unit and per bedroom, percentage of land covered by buildings, total and usable floor areas for purposes of determining off-street parking requirements.
		n. Landscape plan including tree inventory. (Section 2800).
		o. Description of utilities including storm drainage; sewage disposal; electrical distribution; telephone and/or television system; natural gas distribution; exterior lighting; water distribution and source; fire hydrant locations; proposed method of solid waste storage, collection and disposal.
		p. The cover letter, signed by the owner and prospective developer holding an equitable interest in the property, shall include legal description and acreage of property; existing zoning classification and proposed zoning classification, if different; general description or proposed development; and estimation of timetable of development.

		<p>q. The site plan shall be accompanied by architectural sketches showing the proposed building elevations and maximum heights. The site plan package shall also include architectural sketches showing the relationships of the subject building to buildings located to the rear.</p> <p>1) Clearly demonstrate the impact of the proposed building height and bulk on neighboring buildings with "model", color photo or video display.</p>
		<p>r. As applicable, the site plan submittal shall be accompanied by an application form, furnished by the Administrative Office, for rezoning.</p>
		<p>s. Exterior lighting plan and design, with photometrics.</p>

10. Present MICHIGAN CAPITAL PARTNERS, LLC landowner:

E-MAIL: travis@revivemich.com

Address: 3234 LEON LAKE SHORES

City: WATERFORD State: MI Zip: 48329 Phone: 248.245.8185

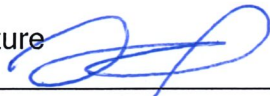
11. Firm or individual requesting site plan approval:

TRAVIS RILEY FOR MICHIGAN CAPITAL PARTNERS

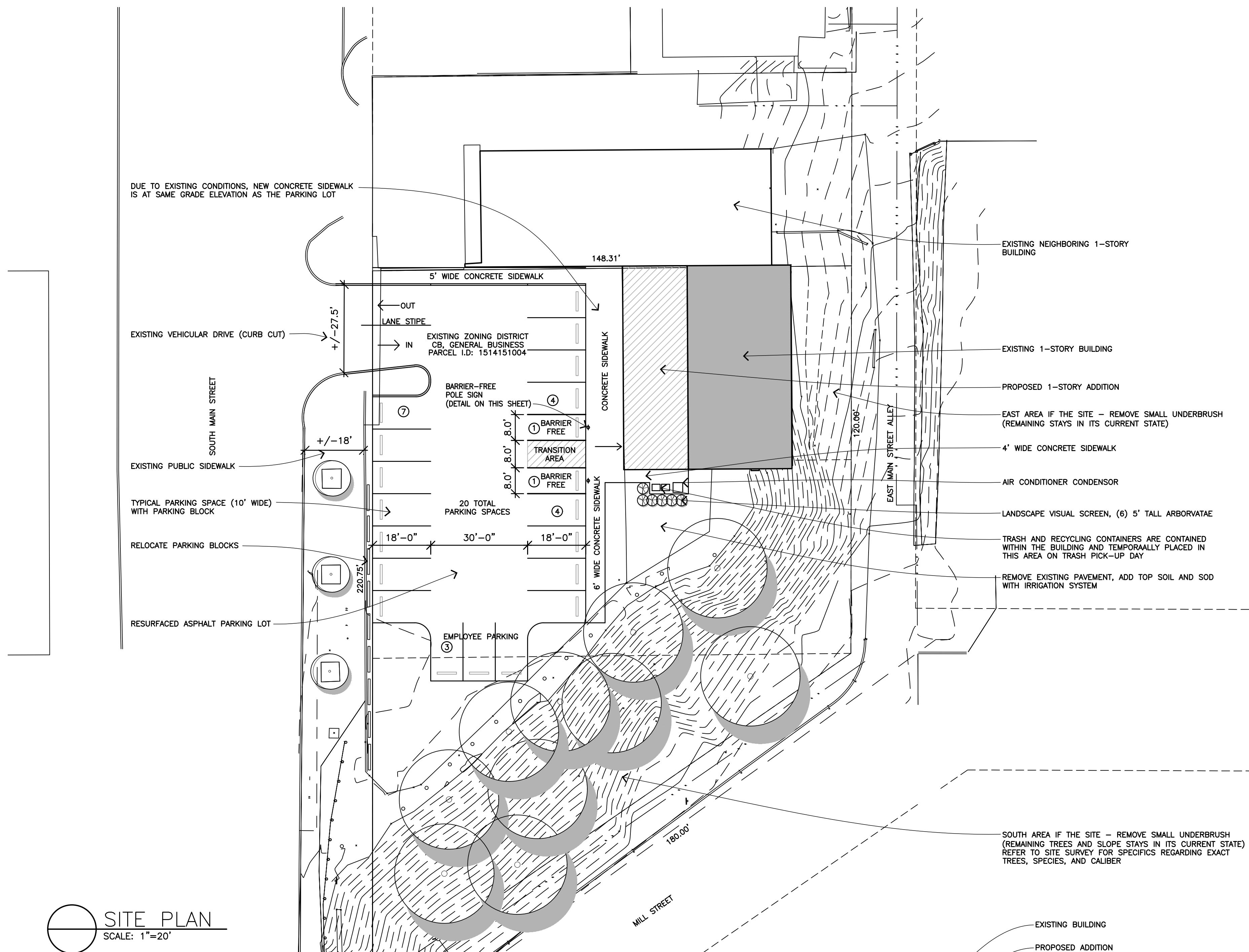
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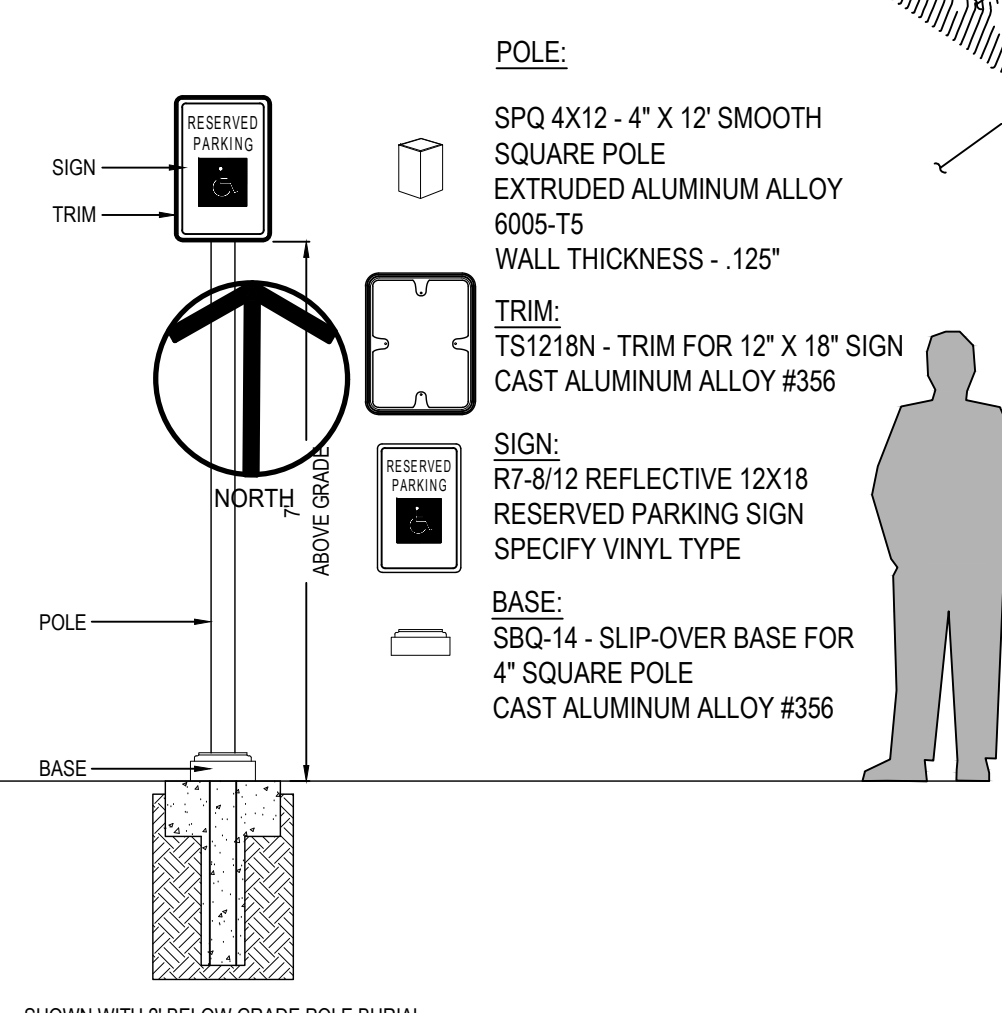
City: WATERFORD State: MI Zip: 48329 Phone: 248.245.8185

Signature  of Applicant

Print Name TRAVIS RILEY Date 7/8/25



SITE PLAN
SCALE: 1"=20'



BARRIER-FREE PARKING SIGN



BIRD'S EYE VIEW OF THE SITE/BUILDING

EXISTING ZONING DISTRICT: CBD, CENTRAL BUSINESS DISTRICT (NO CHANGE)

ARTICLE 4 – ZONING DISTRICTS AND PERMITTED USES

CHAPTER 3 – LAND USE
Proposed: Professional and Medical Office (permitted)

CHAPTER 4 – DESIGN STANDARDS FOR SPECIFIC USES
Non are applicable

ARTICLE 5 – SCHEDULE OF REGULATIONS

CHAPTER 1 - SCHEDULE OF REGULATIONS

Table 7. Schedule of Regulations - NONRESIDENTIAL DISTRICTS (in the CB District)

Minimum Lot Area (SF) Required: 5 acres (waived since site is in the CB District)
Existing: +/-5.9 acres
Proposed: No Change

Minimum Lot Width (ft.): 400' (waived since site is in the CB District)
Existing: 220.75'
Proposed: No Change

Maximum Building Height (stories): 2
Existing: 1
Proposed: 1

Maximum Building Height (ft.): 30'
Existing: 19.5'
Proposed: 19.0' (to midpoint of gable roof)

Minimum Yard Setback Front (ft.): 75'
(may be reduced to the average setback of structures within 300 feet of the subject parcel)
Existing: +/-98'
Proposed: +/-78'

Minimum Yard Setback Each (ft.): 25'
Existing (North): 0'
Proposed: 0'

Minimum Yard Setback Total Side (ft.): 50'
Existing: +/-58'
Proposed: No change

Minimum Yard Setback Rear (ft.): 75'
Existing: +/-18'
Proposed: No change

ARTICLE 9 – NATURAL FEATURES

CHAPTER 2 – STEEP SLOPES
No development is proposed in the existing sloped area of the site.

ARTICLE 10 – GENERAL PROVISIONS

CHAPTER 2 – EXTERIOR LIGHTING

SECTION 138-10.201, B. Site Plans, 1.
Refer to site plan and building exterior elevations for exterior lighting types.
Refer to photometric for light output.

SECTION 138-10.202 – General Provisions
Lighting Footcandles
Pedestrian areas/sidewalks: 0.2 minimum, 1.0 maximum
Building entrances: 1.0 minimum, 5.0 maximum
Driveway lighting: 0.2 minimum, 1.0 maximum
Parking areas: 0.2 minimum, 2.0 maximum
Parking areas or maneuvering lanes within 25' of the building: 2.0 minimum, 4.0 maximum

Refer to site plan and building exterior elevations for exterior lighting types.
Refer to photometric for light output.

SECTION 138-10.310 – Building Mechanical Equipment
Exterior mechanical equipment shall be screened from adjacent public or private streets and adjacent properties.
If mounted on building, it shall be visually screened in a manner that is architecturally compatible with the building design.
If a grade, it shall be screened in a similar manner or plant materials.

The furnace is within the interior of the building.
The air conditioning condensers are located at grade on the east side of the building and visually screened with evergreen plants.

SECTION 138-10.311 – Dumpster and Trash Storage Screening
Trash receptacles or outdoor storage of refuse bins, if visible from a public or private road or adjacent property, shall be required. The enclosure shall be constructed of masonry and obscuring wood gates and be at least 6' high.

All trash is contained within the building structure – On day of pickup, bins will be placed south of the building, adjacent to the air conditioner condenser, screened from view with landscaping

ARTICLE 11 – OFF-STREET PARKING AND LOADING

CHAPTER 1 - GENERALLY

SECTION 138-11.102 – General Standards

B. Location of Spaces

3. Off-street parking shall not be permitted in a side or front lot except:
a. Parking may be permitted in the front yard provided there is a minimum unobstructed landscape setback of 10' between the parking area and right-of-way line.
Landscaping shall be in accordance with Section 138-12.301, B.

The off-street parking is existing but will be reconfigured with an approved surface.

5. Setback from Buildings
Parking shall be set back at least 5' from the building with concrete curbing.

Parking area exceeds this requirement but because of existing grade conditions propose parking blocks in lieu of concrete curbs.

E. Pedestrian Circulation
Parking lot shall accommodate pedestrian circulation.

A sidewalk is proposed along the west side of the building adjacent to the parking lot and at the north part of the site linking to the street public sidewalk.

CHAPTER 2 – MINIMUM AND MAXIMUM PARKING REQUIRED

SECTION 138-11.102 – General Standards

A. Minimum parking shall be in accordance with Section 138-11.204. Planning Commission may reduce the required amount.

B. Maximum parking shall not exceed 125% of the minimum required.

F. Units of Measurement (Floor Area is gross building area, Usable Floor Area is used for the service of the building – assume 80% of gross building area).

SECTION 138-11.203 – Parking Requirements (minimum)

Proposed Use: Office, medical or professional.
1 space per 350 SF of floor area (per request of Planning Department, use 1 space per 200 GSF)
Proposed building gross area: 3,200 SF
Required parking therefore is 3,200 / 200 = 16 car spaces
Proposed: 18 car spaces (maximum allowable is 16 x 125% = 20)

CHAPTER 3 – PARKING DESIGN STANDARDS

SECTION 138-11.300 – Barrier-free Parking Requirements
Required (up to 25): 1
Proposed (for 18 total car spaces): 1 (all barrier-free space must accommodate "van" size requirements (11' width for the vehicle, 5' for the access aisle)

SECTION 138-11.302 – Parking Layout
Required Parking Pattern: 90 degrees – 24' wide aisle, 10' width, 18' in length
Proposed Parking Pattern: 90 degrees – 24' wide aisle, 10' width, 18' in length

All parking lots shall be provided with curbs, wheel stops or bumper guards so located that no part of parked vehicles will extend beyond the lot boundaries, into required screening or landscaping, or across sidewalks or pedestrian pathways

SECTION 138-11.303 – Off-Street Landscaping
There shall be provided and maintained on the same premises with every structure, use or part thereof involving the receipt or distribution of vehicles, equipment, materials or merchandise adequate space for standing, loading, and unloading to avoid undue interference with public use of dedicated rights-of-way.
Not applicable.

ARTICLE 12 – LANDSCAPING AND SCREENING

SECTION 138-12.104 – Walls
A. Walls required under this Article shall have no openings for vehicular traffic or other purposes, except such openings as may be approved by the City. All walls required in this ordinance shall be constructed of decorative stone or brick. The height of the wall shall be measured from the prevailing grade of the land on the side of the wall facing the less intense use. Walls shall be erected on a concrete foundation which shall have a minimum depth of 42 inches below a grade approved by the building department and shall not be less than four inches wider than the wall to be erected.
B. A six-foot tall decorative opaque vinyl fence or densely planted evergreen landscaping sufficient to form a living green wall with a minimum height of six feet may be permitted by the Planning Commission in lieu of a masonry wall when the characteristics of the two abutting uses would make such a substitution appropriate

SECTION 138-12.105 – Irrigation
To assist in maintaining plant materials in a healthy condition, all landscaped areas (including lawns) shall be provided with an automatic, underground, or drip irrigation system, subject to the following:
A. The Planning Department may approve an alternative form of irrigation for a particular site, or may waive this requirement upon determining that underground irrigation is not necessary for the type of proposed plant materials.
B. All automatic irrigation systems shall be designed to minimize water usage, and shall be shut off during water emergencies, periods of protracted rainfall, or water rationing periods.
C. The irrigation requirement may be waived by the reviewing authority if the project incorporates landscaping that will contribute points towards LEED certification or an equivalent rating system.

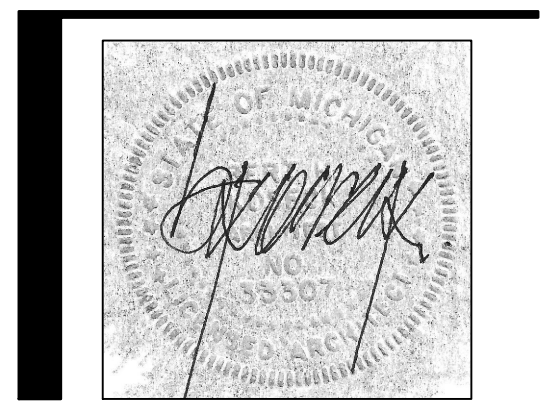
CHAPTER 3. - LANDSCAPE REQUIREMENTS

2. Screening Wall. Where a screening wall is required, either a masonry or a densely planted "green" wall may be used at the discretion of the reviewing authority after taking into account specific conditions on and adjacent to the site. Screening walls shall comply with the following requirements:
a. Green Wall Requirements. Where a green wall is proposed, the plantings comprising the green wall shall be of a sufficient size and spaced on-center such that they will be sufficient to form an opaque screen to a height of six feet within three years of planting. The evergreen and shrub planting requirements of the above table shall be disregarded when a green wall is proposed, as the green wall plantings will serve the same purpose as the evergreen and/or shrub planting requirements.
b. Masonry Wall Requirements. All masonry screen walls shall be six feet in height, consist of decorative masonry or natural materials such as brick or stone, and capped with a stone or concrete cap. The color and material shall be coordinated with the materials of the principal building.
c. Landscaping With a Masonry Wall. Where a masonry wall is proposed, no evergreen trees are required. Instead, additional deciduous trees and shrubs shall be provided at the rate of 0.5 deciduous trees and two shrubs for each evergreen tree that would otherwise be required in the buffer yard. These additional deciduous trees and shrubs are in addition to the deciduous trees and shrubs otherwise required in the buffer yard.

SECTION 138-12.307 - Modification of Landscape Requirements
Recognizing that a wide variety of land uses and the relationships between them can exist, and that varying circumstances can mitigate the need for landscaping, the Planning Commission may reduce or waive the screening and buffer zone requirements of this Article 12 and approve an alternative screening plan. The Planning Commission shall find that the following standards have been met whenever it modifies any landscaping requirement:
A. The landscape/screening plan shall protect the character of new and existing residential neighborhoods against negative impacts such as noise, glare, light, air pollution, trash and debris, and hazardous activities.
B. The alternate width and type of buffer zone and screening provided therein will ensure compatibility with surrounding and nearby land uses because:
1. The development is compatible with and sensitive to the immediate environment of the site and neighborhood relative to architectural design, scale, bulk, building height, identified historical character, disposition and orientation of buildings on the lot and visual integrity.
2. The site has natural existing vegetation and/or topography, natural bodies of water or wetland areas or other existing conditions which offer screening consistent with the standards set forth in this Article 12. The Planning Commission shall require the preservation of these natural features as a condition of site plan approval.
3. The arrangement, design and orientation of buildings on the site maximize privacy and isolate adjacent and nearby land uses from any potential negative impacts of the project

SECTION 138-12.308 - Waiver of Requirement
The Planning Commission or official approving the landscape and irrigation plans may waive or reduce the requirements of this division upon determining that the following would apply:
A. The purpose of this Article cannot be met, and
B. Compliance with the requirements would impose a practical difficulty on the applicant or would create safety hazards to pedestrians or motorists.

SECTION 138-11.203 – Parking Requirements (minimum)
Proposed Use: Office, medical or professional.
1 space per 350 SF of floor area (per request of Planning Department, use 1 space per 200 GSF)
Proposed building gross area: 3,200 SF
Required parking therefore is 3,200 / 200 = 16 car spaces
Proposed: 18 car spaces (maximum allowable is 16 x 125% = 20)



ARCHITECT
KOSECK ARCHITECTURE
2441 DORCHESTER RD.
BIRMINGHAM, MI 48009
CONTACT: BERT KOSECK
EMAIL: KOSECKARCH@GMAIL.COM
CELL NUMBER: 248.302.4018
LICENSE: 1301033307 (EXPIRES 11/10/26)

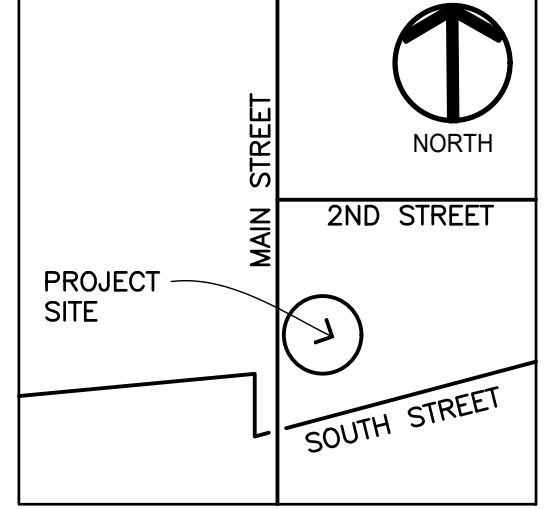
OWNER
MICHIGAN CAPITAL PARTNERS
3234 LOON LAKE SHORE, WATERFORD, MI 48329
CONTACT PERSON: TRAVIS RILEY
EMAIL: TRAVIS@REVIVEMICH.COM
CELL NUMBER: 248-245-8185

TENANT
TBD

SURVEY
NO ENGINEERS

CONSTRUCTION MANAGER
MANAGED PROPERTIES
3234 LOON LAKE SHORE, WATERFORD, MI 48329
CONTACT PERSON: TRAVIS RILEY
EMAIL: TRAVIS@REVIVEMICH.COM
CELL NUMBER: 248-245-8185

PROJECT LOCATION MAP
120 SOUTH MAIN STREET, ROCHESTER MICHIGAN



PROJECT DESCRIPTION
1-STORY ADDITION (1,260 SF) TO AN EXISTING 1-STORY EXISTING BUILDING (2,022 SF)

DOCUMENT LIST

A.00	DATA, ZONING REVIEW, SITE PLAN
A.01	FLOOR PLAN, BUILDING ELEVATIONS

SURVEY

Issue For:
06.27.2025
Owner Review

06.30.2025 City of Rochester Review (Preliminary)

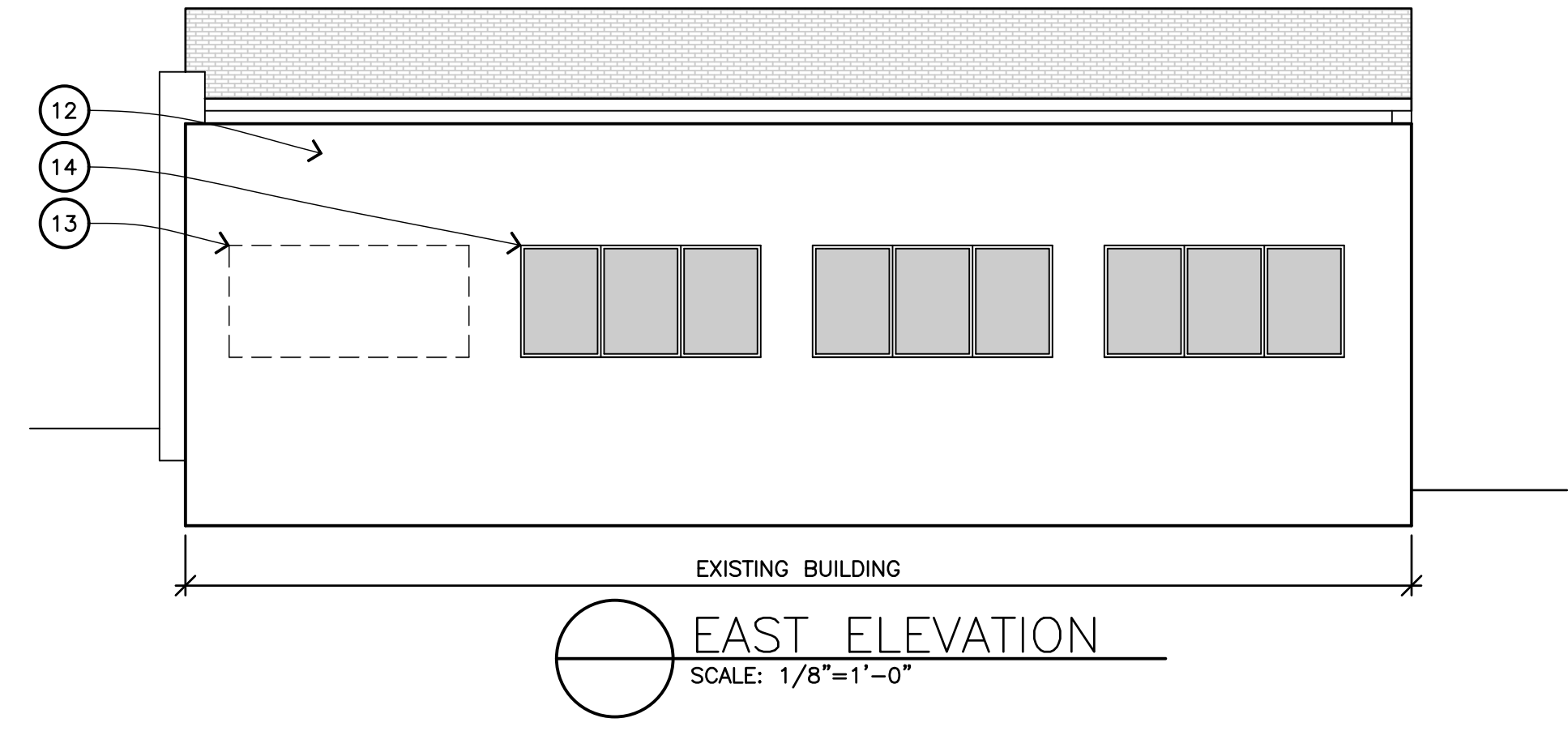
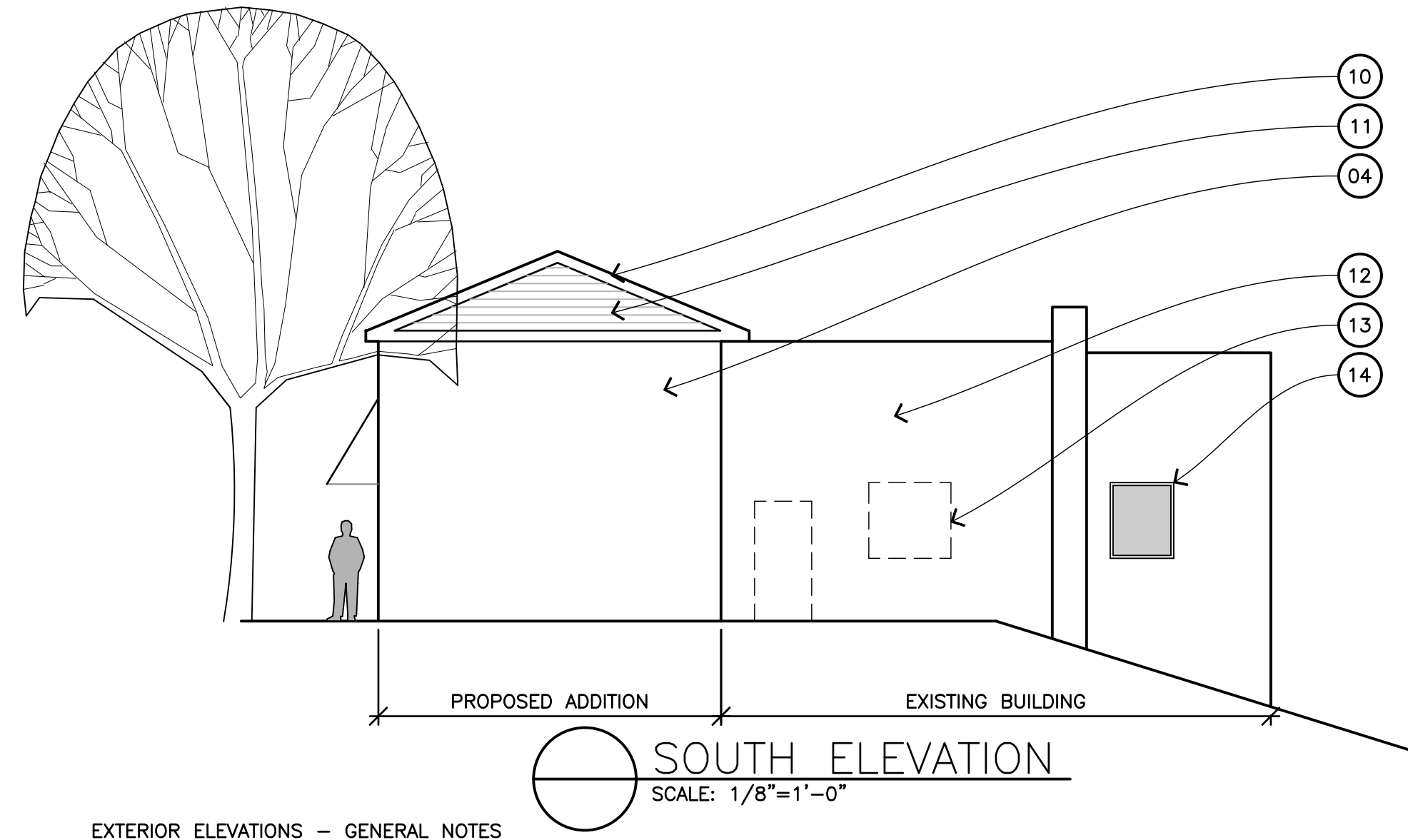
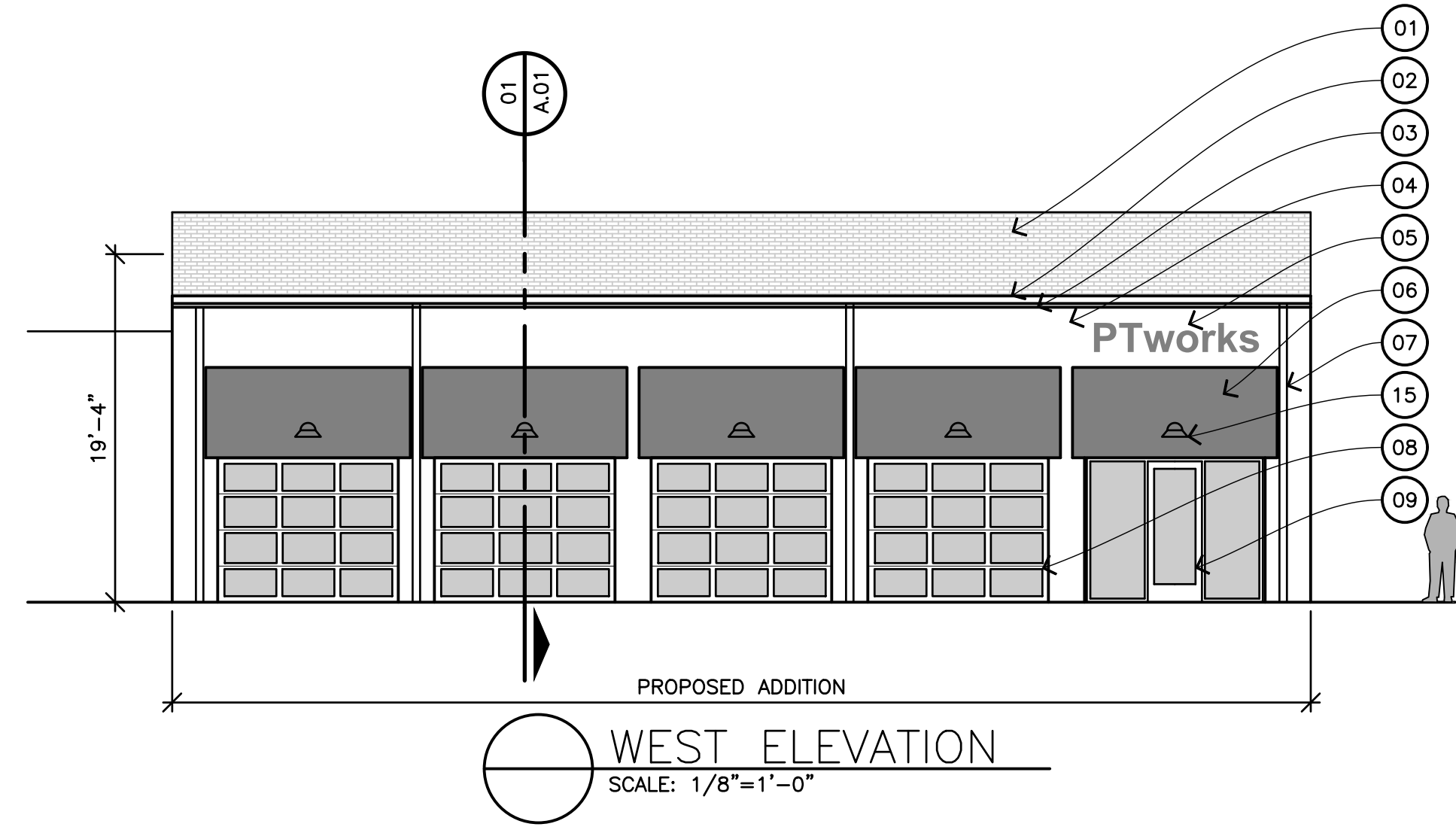
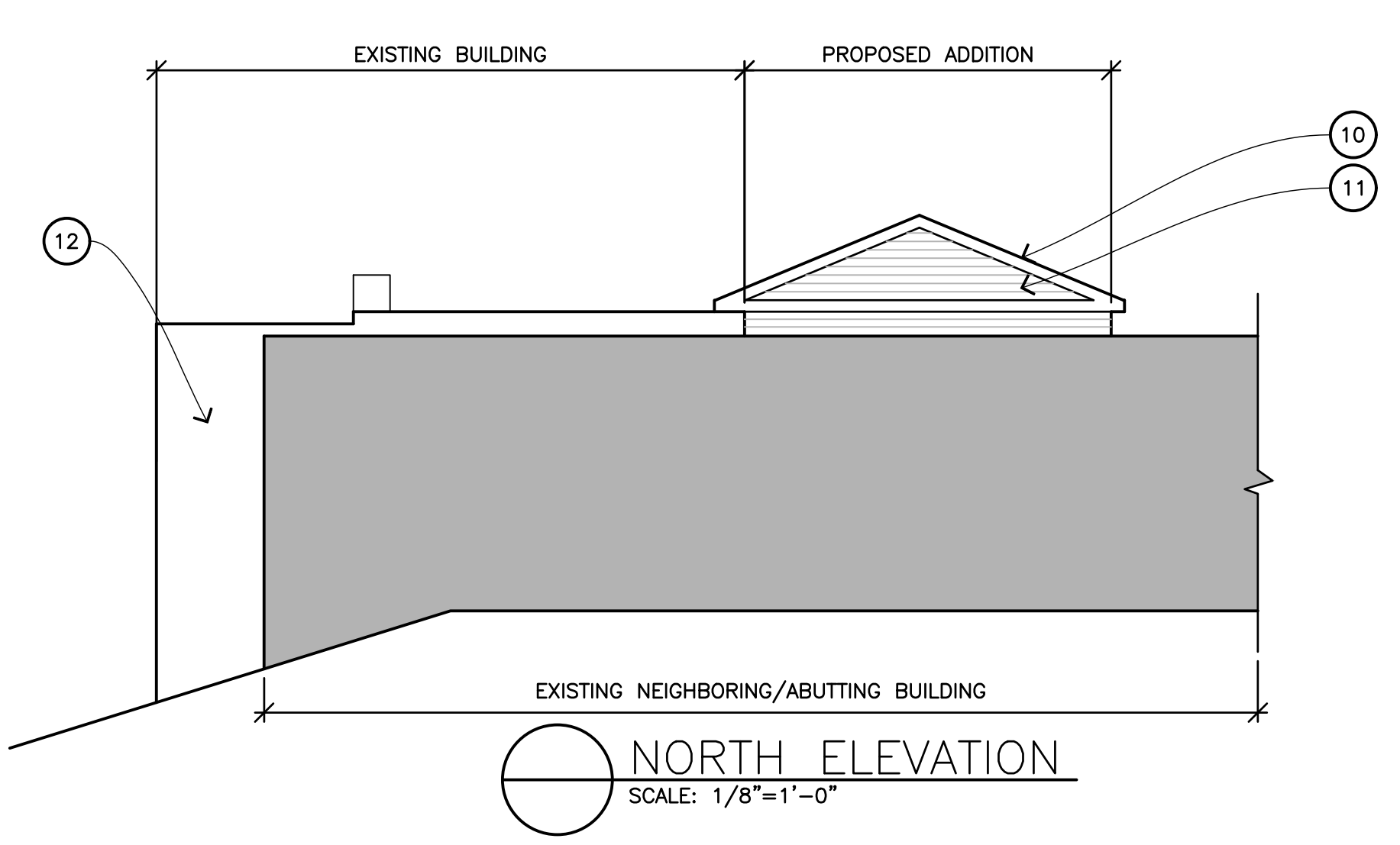
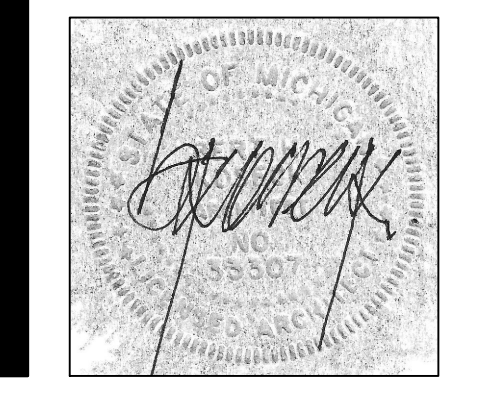
07.01.2025
City of Rochester - Site Plan Approval Application

08.01.2025
Document edits based on City of Rochester (McKenna) review and comments

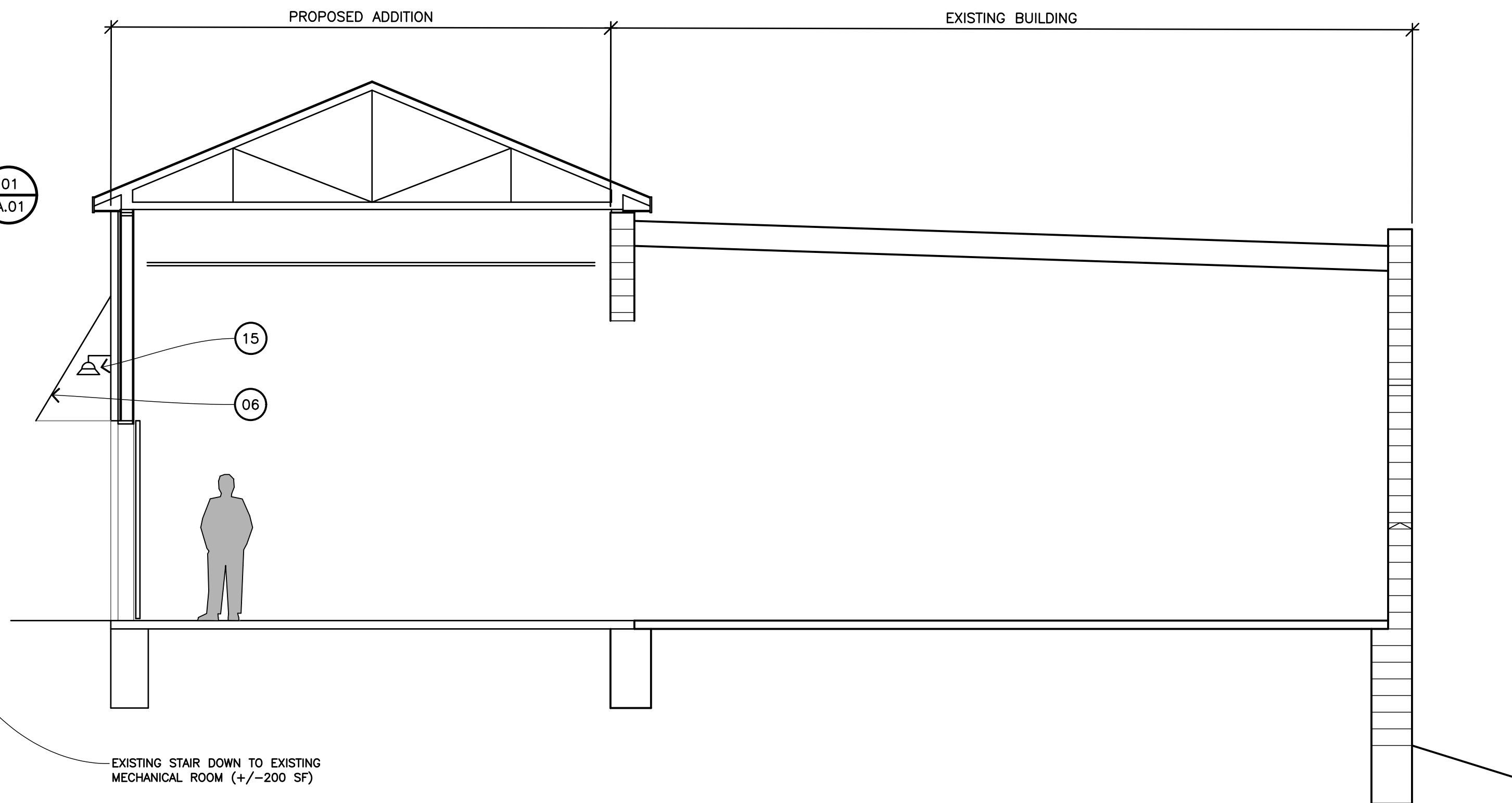
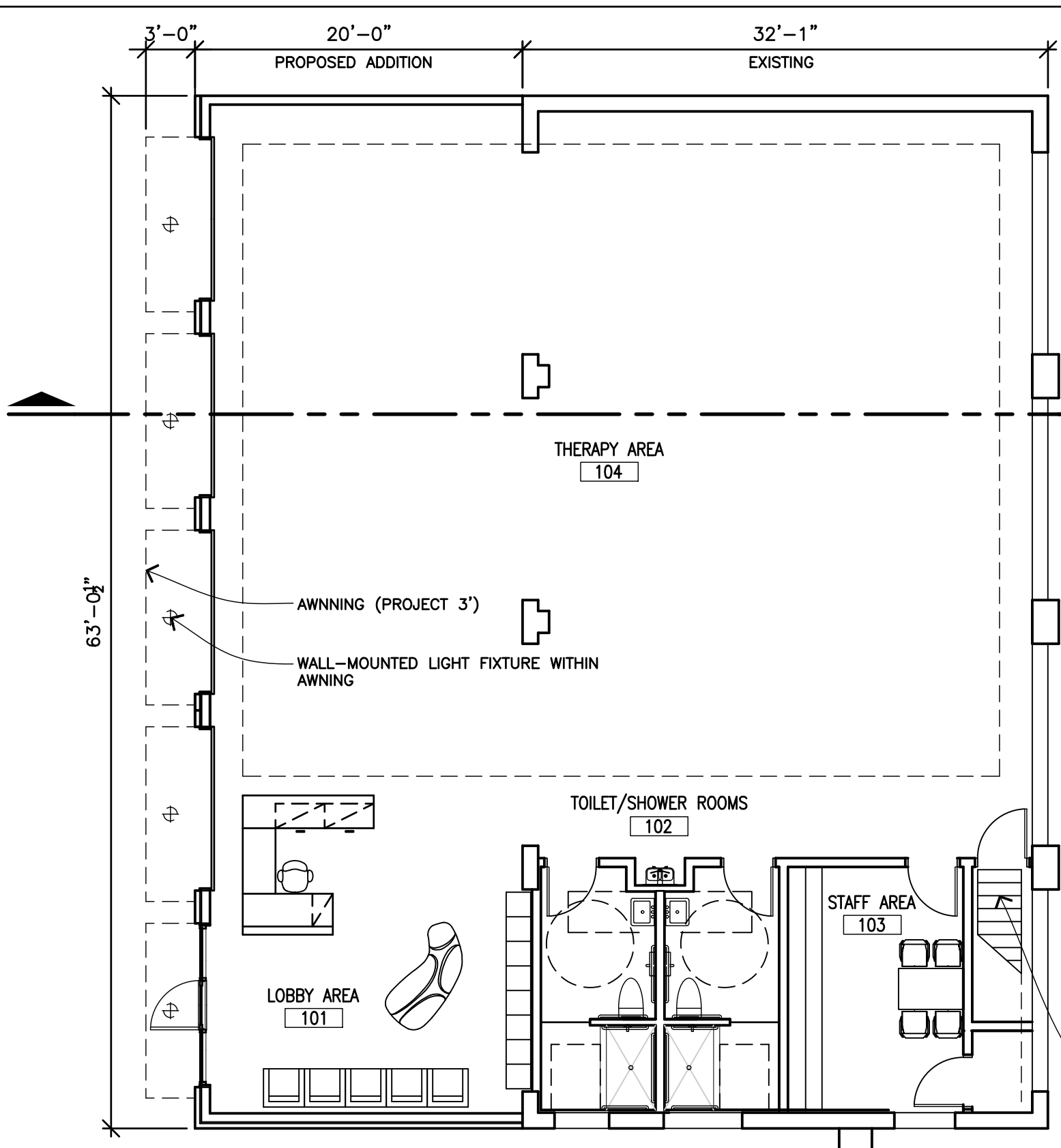
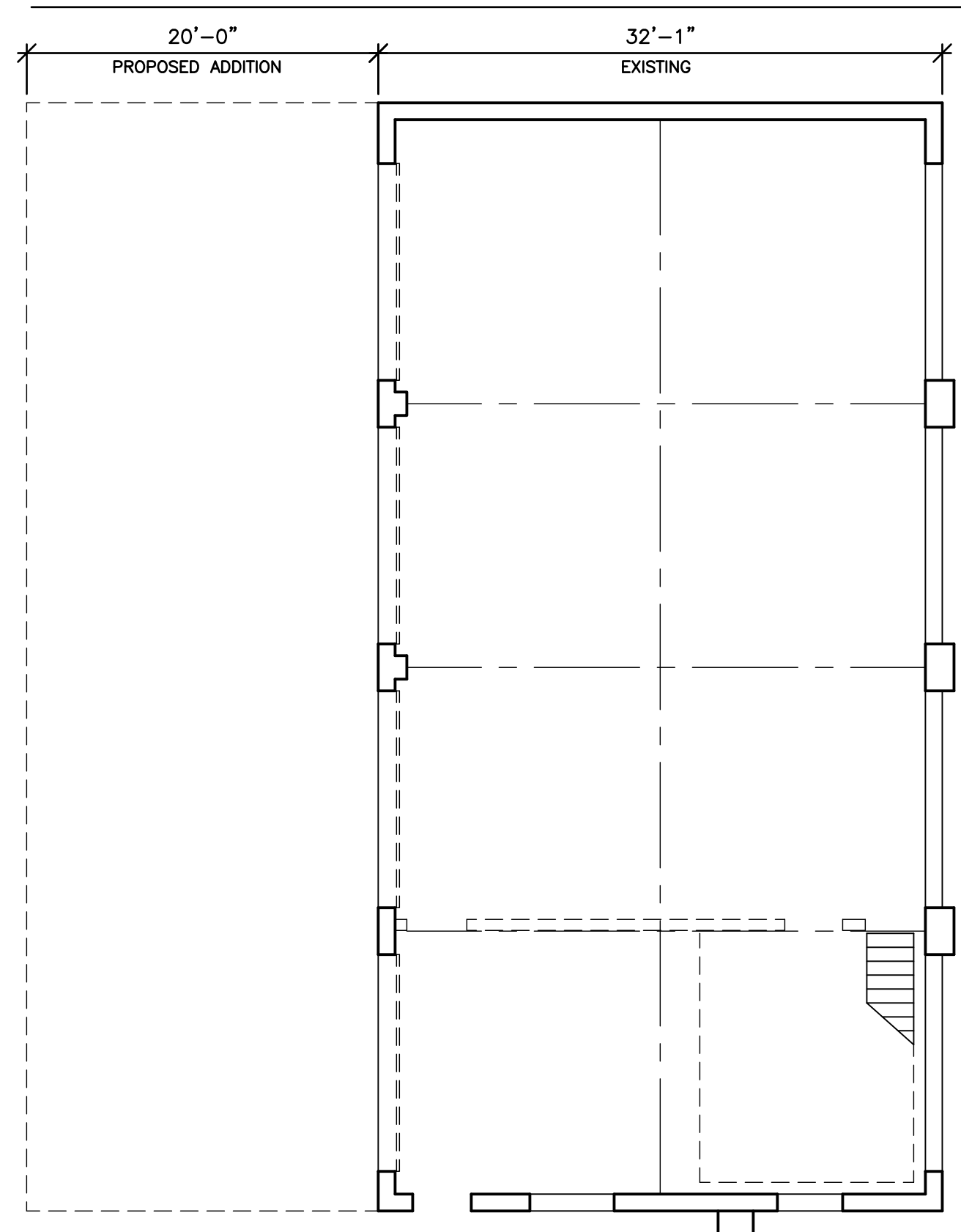
Project
Addition/Renovation
120 S. Main Street
Rochester, MI

Sheet Name
SITE PLAN

Sheet Number
A.00



- EXTERIOR ELEVATIONS - GENERAL NOTES
- 01 SHINGLES - MATERIAL (FIBERGLASS), COLOR (BLACK)
 - 02 GUTTER - MATERIAL (ALUMINUM), COLOR (BLACK)
 - 03 FASCIA - MATERIAL (PINE), COLOR (DARK GRAY)
 - 04 WALL - MATERIAL (ENGINEERED WOOD SIDING), COLOR (PAINTED DARK GRAY)
 - 05 WALL SIGN - GENERIC NAME, SIGN NAME AND TYPE TBD
 - 06 AWNING - MATERIAL (CANVAS), COLOR - 4 ARE BLACK, 1 IS RED (OVER BUILDING ENTRANCE)
 - 07 DOWNSPOUT - MATERIAL (ALUMINUM), COLOR (BLACK)
 - 08 OVERHEAD DOOR - MATERIAL (METAL FRAME, INSULATION GLASS), METAL COLOR (BLACK), CLEAR GLASS
 - 09 DOOR AND WINDOW - MATERIAL (METAL FRAME, INSULATION GLASS), METAL COLOR (BLACK), CLEAR GLASS
 - 10 RAKE AND TRIM BOARDS - MATERIAL (PINE), COLOR (DARK GRAY)
 - 11 WALL - MATERIAL (CEMENT BOARD SIDING), COLOR (PAINT DARK GRAY)
 - 12 WALL - MATERIAL (EXISTING CONCRETE BLOCK), COLOR (PAINT DARK GRAY)
 - 13 EXISTING WINDOWS - REMOVE AND FILL WITH PAINTED CONCRETE BLOCK TO MATCH ADJACENT WALL
 - 14 EXISTING WINDOWS (REPLACE) - MATERIAL (METAL FRAME, INSULATION GLASS), METAL COLOR (BLACK), CLEAR GLASS
 - 15 WALL-MOUNTED LIGHT FIXTURE BEHIND AWNINGS



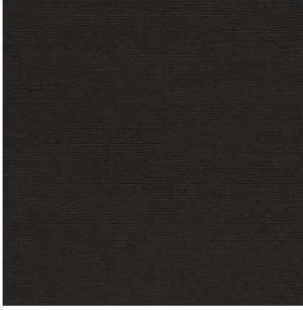
Issue For:
06.27.2025
Owner Review
06.30.2025 City of Rochester Review
(Preliminary)
07.01.2025
City of Rochester - Site Plan Approval
Application
08.01.2025
Document edits based on City of Rochester
(McKenna) review and comments

Project
Addition/Renovation
120 S. Main Street
Rochester, MI

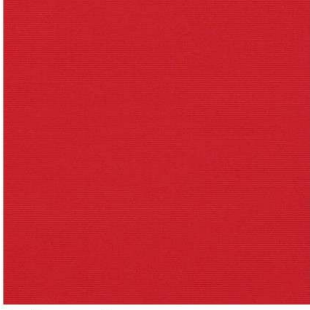
Sheet Name
**ELEVATIONS,
FLOOR PLAN,
SECTION**

Sheet Number
A.01

120 SOUTH MAIN STREET ROCHESTER MICHIGAN
 BUILDING RENOVATION AND ADDITION
 08.01.2025



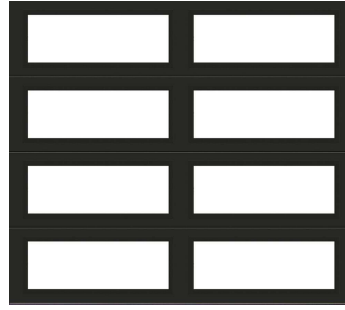
Black
 Sunbrella Shade
 SKU 4608-0000



Jockey Red
 Sunbrella Shade
 SKU 4603-0000



SIDING AND CONCRETE BLOCK



WINDOW/DOOR FRAMES, GUTTERS/DOWNSPOUTS



SHINGLES



WALL-MOUNTED LIGHT FIXTURE

SHINGLES (COLOR BLACK)

AWNING (CANVAS, BLACK)

WINDOWS/DOORS
 (BLACK METAL, CLEAR GLASS)



SIDING (COLOR DARK GRAY)

WALL SIGN (TO BE DETERMINED)

AWNINGS (CANVAS - RED)

WALL LIGHT FIXTURE (BEHIND AWNING, BLACK)

CONCRETE BLOCK (COLOR DARK GRAY)



MCKENNA

August 22, 2025

Planning Commissioners
City of Rochester
400 Sixth Street
Rochester, MI 48307

Subject: **543 N. Main Street;** Preliminary Plan Review; site plan dated 4/11/1990 (no revised date).

Dear Commissioners:

At the City's request we have reviewed a proposal from Dr. Attallah for proposed site improvements to an existing site. The subject site is located on the west side of Main Street, just north of W. University Drive and bound by Paint Creek to the northwest. The site has 4 existing buildings arranged around a central parking and courtyard area. The site is zoned B-1 (General Business) District. Per the Master Plan adopted in 2022, the entire site is now designated as General Business with the exception of the west/northwest portions which are shown as traditional Core Downtown i.e., CBD district.

Project. The existing courtyard area had a fountain which was removed in early 2024. Based on pictures and site diagram it appears the applicant is repaving the central area and installing 5 automated entry gates to control access into the parking lot from Main Street, W. University and Pine Street. The applicant is also in the process of addressing numerous blight related issues on the building.

Ordinance Applicability. Per Section 2700 (b)(2) site plan approval is required for *Any modification and/or amendment to a plan that has previously received special exception or special project approval from the planning commission.*

Per Section 2705 (a) the term "site plan" includes the documents and drawings specified in this zoning ordinance necessary to ensure that a proposed land use or activity is in compliance with this zoning ordinance and state and federal statutes. Further sub-section (d) states The site plan, as approved, shall become part of the record of approval, and subsequent actions relating to the activity authorized shall be consistent with the approved site plan, unless a change conforming to this zoning ordinance received the mutual agreement of the land/owner and the city planning commission.

Per Section 2404 Off-Street Parking and Loading "If the off-street parking lot is intended to serve office, business or commercial use(s), the parking lot and associated driveways shall be laid out to facilitate joint usage of driveways and circulation routes with adjoining property in the same block zoned for office, business or commercial use(s), with the intent of minimizing points of driveway access to major thoroughfares, increasing efficiency and safety of traffic circulation and coordinating grades and drainage. The planning commission shall have authority to require the implementation of such joint usage of said driveways and circulation routes by appropriate legal documentation between or among the property owners."

Planning Commission Authority. The applicant has already started work on this project. However, there is no plan for how the parking in the center courtyard will be striped with the removal of the fountain, which creates a large circular pad of concrete. There is no information on how the central area will

HEADQUARTERS
235 East Main Street
Suite 105
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function in terms of vehicle and pedestrian circulation. Further the addition of the electronic controlled gates entry into the area will have an impact on the abutting streets and movement of traffic in and out of the site. Reviewing such a plan is within the scope of Planning Commission authority since the original site plan approval granted for the site is being modified.

This preliminary review is to ensure adequate information has been submitted for the plan to be forwarded to Planning Commission to set a date for its hearing and does not constitute a complete site plan review.

REVIEW COMMENTS

This review does not involve any review of the uses, building architecture, landscaping, or site design elements other than parking and circulation.

1. The modified site plan must be dated, signed, and sealed by a licensed professional.
2. The property lines must be clearly delineated.
3. The plan submitted still shows the central courtyard area as it existed, not as it is today. Please note how the area will be striped for parking.

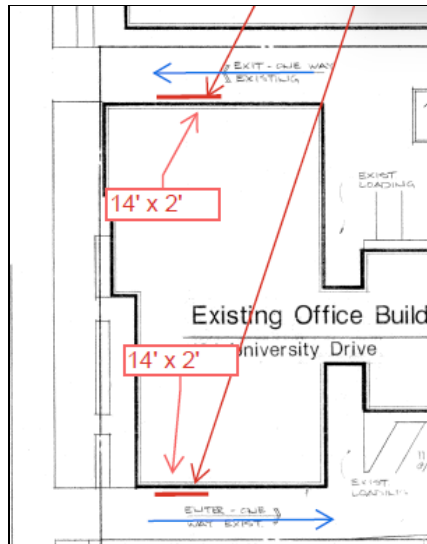


Source: Applicant's Submission

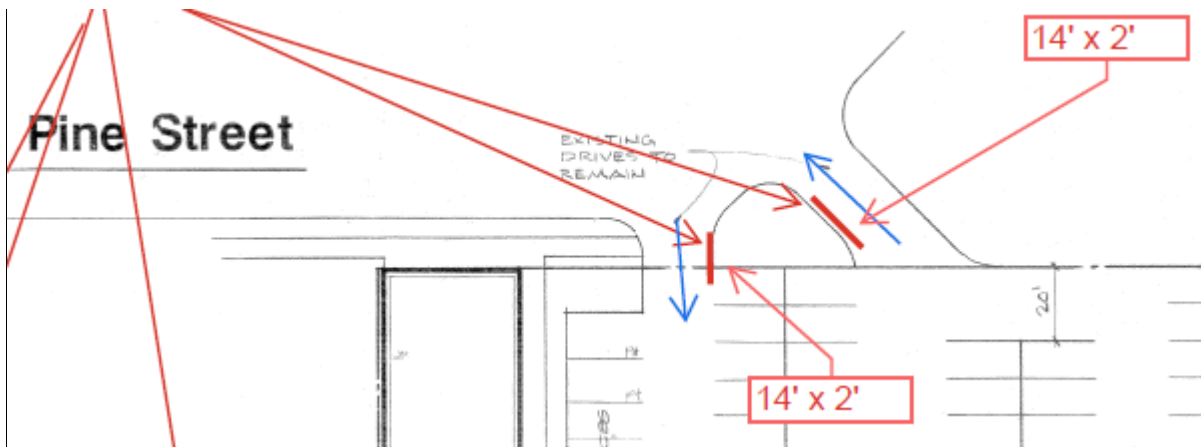
4. Identify sidewalks and any modifications to pedestrian pathways in the central area.



5. The plan notes the installation of 5 new gates – one off Main Street, two off W. University and two off Pine Street. The access drives off W. University are one-way. The proposed gated access island is 2' wide. The minimum required width of a one-way drive aisle is 15 feet. What is the remaining width of the aisle abutting the gated access islands?



6. The 2 gate access islands on Pine Street are located within the street right-of-way. Per the drawing, the 2 islands are located **on top of the public sidewalk**. While the drawing does not show the entire sidewalk, an aerial view shows the location of the islands corresponding with the sidewalk along Pine Street. Any installation within City owned r-o-w requires City Council approval.



Source: Applicant's Submission



Source: Google Earth

7. The proposed location of the gates for entry into the site allows for 0 to 1 vehicle stacking. For example, a single vehicle entering the site off Main Street, accessing the electronic panel, will likely extend onto the public sidewalk on Main Street. Similarly, a vehicle entering the site off W. University is likely to extend onto the public sidewalk. As previously noted, the kiosk off Pine Street is located on top of the sidewalk. The applicant must provide a traffic impact statement/study that shows how the traffic on abutting streets will function during rush hour in the morning. What happens when several vehicles are attempting to enter the site off Main Street in the morning work rush hours? What kind of back-up is likely to result on Main Street while each vehicle takes time to access the electronic panel for entry?
8. W. University and Main Street are both classified as major arterials per the 2022 Master Plan. Main Street is under MDOT jurisdiction. We recommend that the applicant seek input from MDOT on the location of the gate off a major arterial/state roadway and its implications for traffic on Main Street.
9. With gated entry, clarify how delivery vehicles, trash trucks, fire trucks and other emergency vehicles will access the site.



RECOMMENDATION

While the applicant has submitted a plan showing some of the proposed changes, the site plan does not include all the information essential for the Planning Commission to make an informed decision on approving a modification to the originally approved site plan. We recommend that the Planning Commission discuss the project with the applicant and provide feedback.

Once the required information is submitted, the plan can be scheduled for a public hearing. This process is consistent with the process followed by the City for all site plan submissions to the Planning Commission.

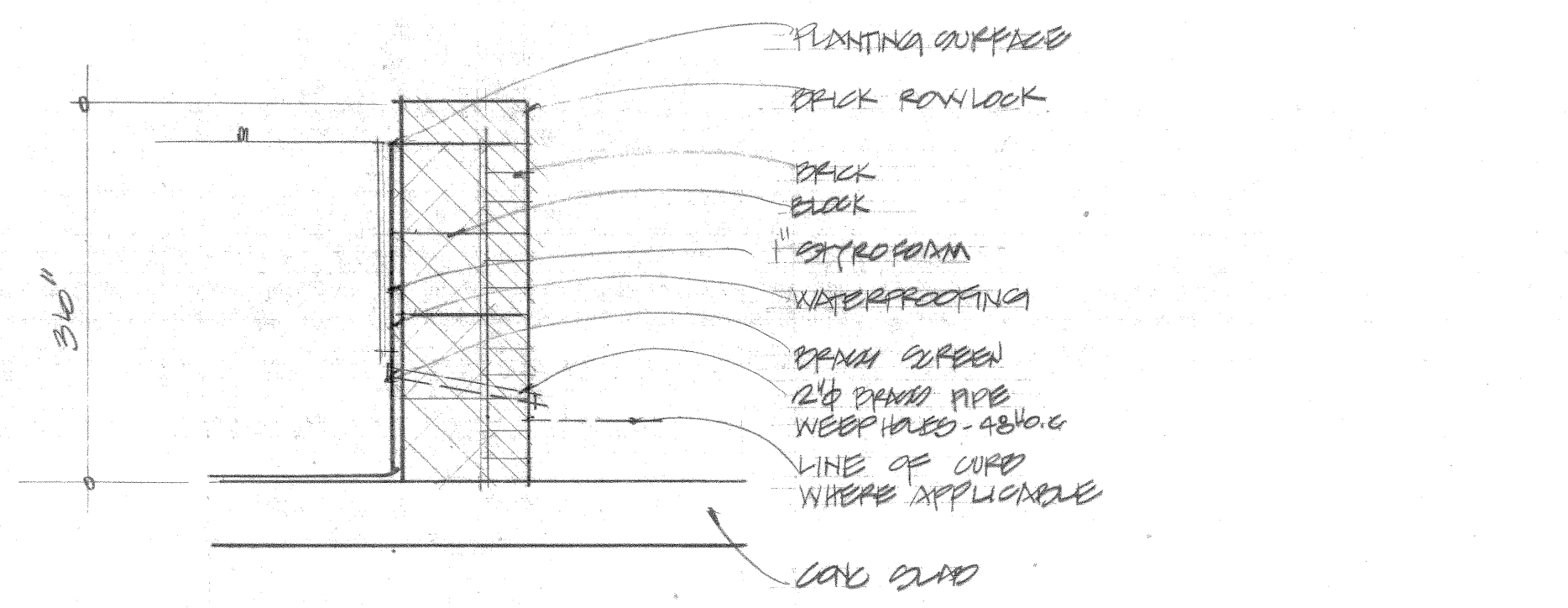
Respectfully,

McKENNA

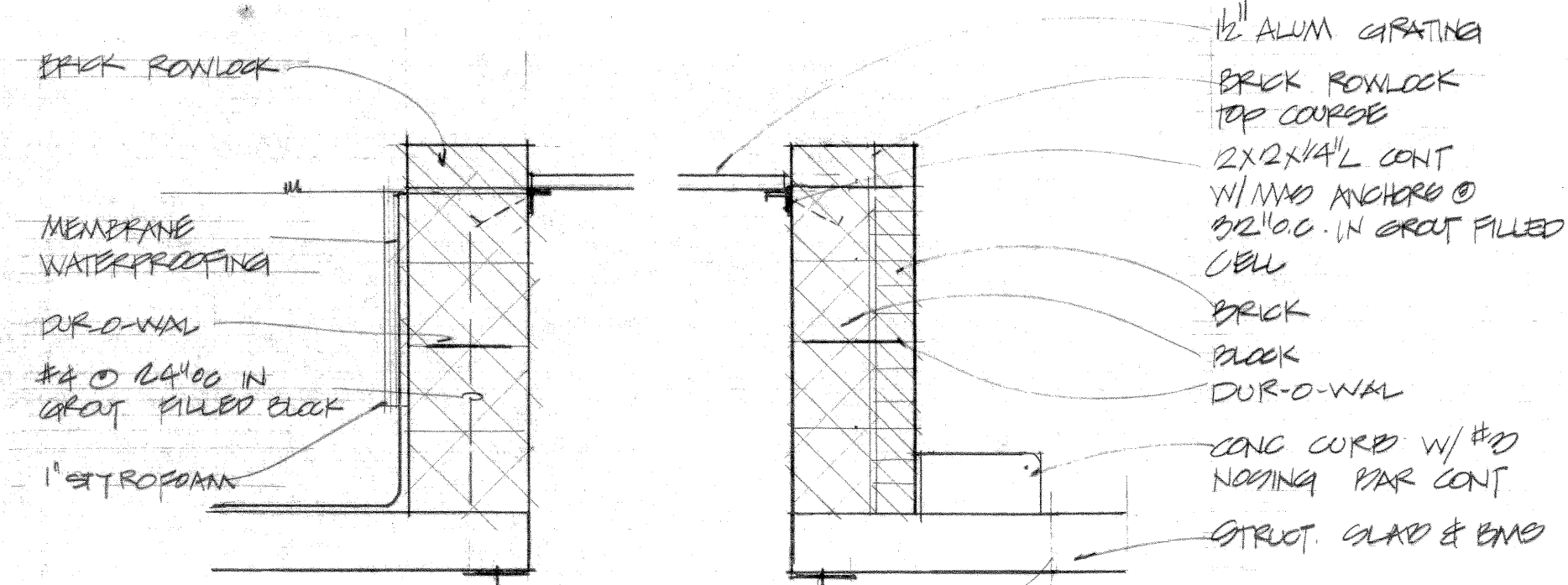
Ms. Vidya Krishnan
Senior Principal Planner

Cc: Jeremy Peckens
Nik Banda
Jeff Kragt
Rose McKinney
Fire Chief Cieslik

Red lines indicate locations of pay station islands

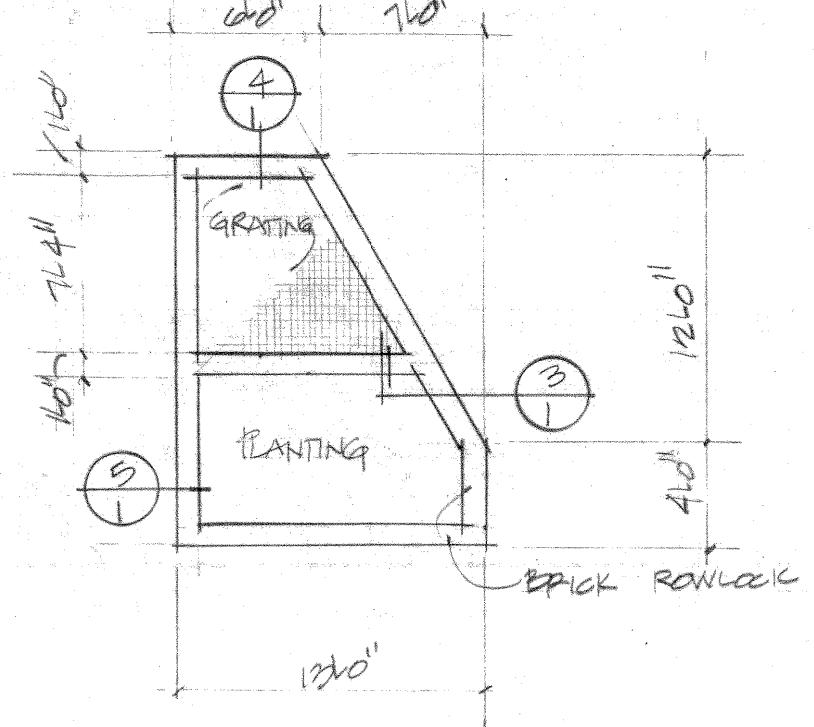


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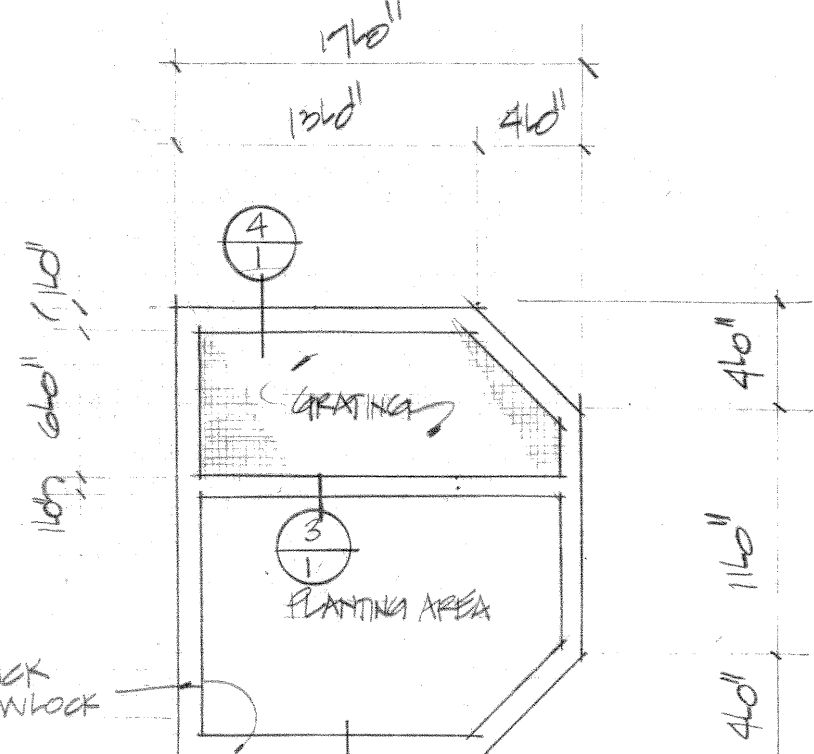


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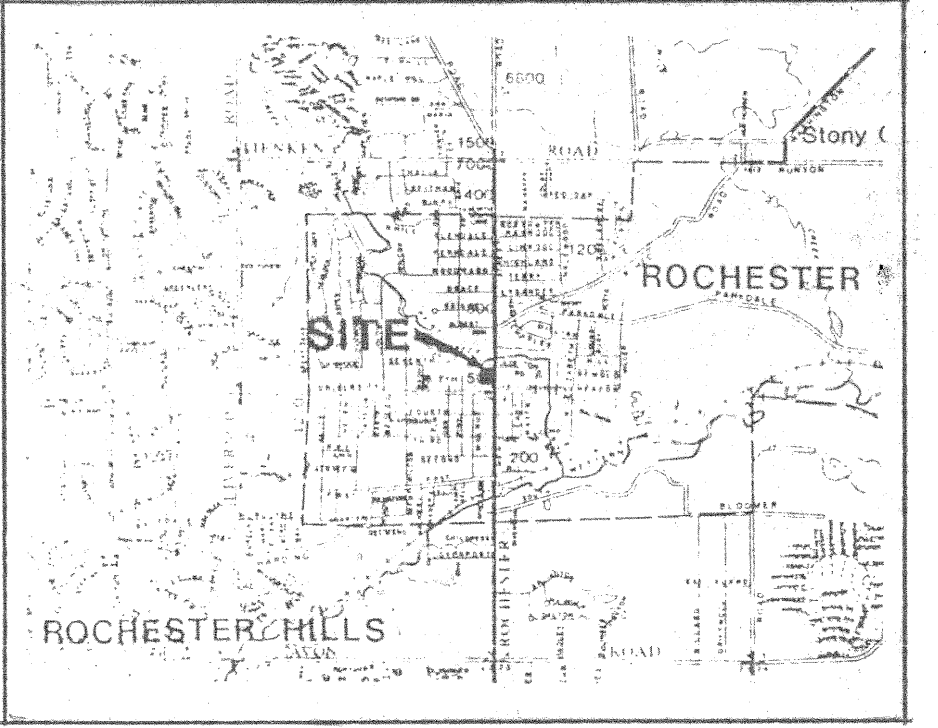
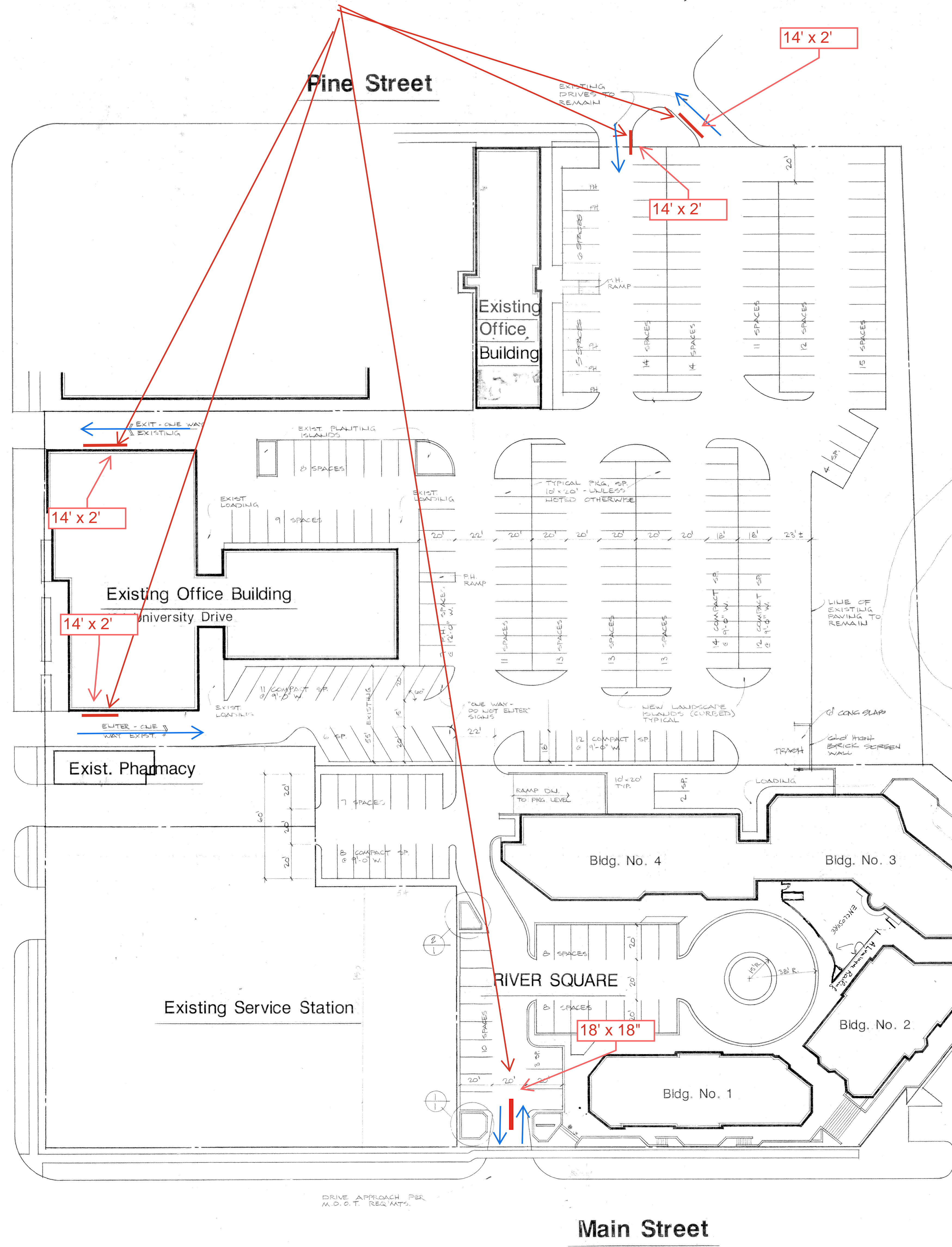


6
1



7
1

University Drive / Fifth Street



LOCATION MAP

NOTE: EXISTING PLANTINGS SHALL BE RELOCATED TO NEW PLANTING ISLANDS

Parking Tabulations

134 UNIVERSITY DRIVE
EXISTING APPROVED PLAN - 217 SPACES
NEW PARKING LAYOUT - 220 SPACES (49 COMPACT - 172 PH)
RIVER SQUARE
NEW PARKING AND RAMP LAYOUT - 156 SPACES (46 ON GRADE - 110 LOWER LEVEL)

Main Street

Scale 1"=30'

SITE PLAN

1"=30'-0"

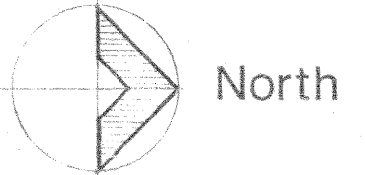


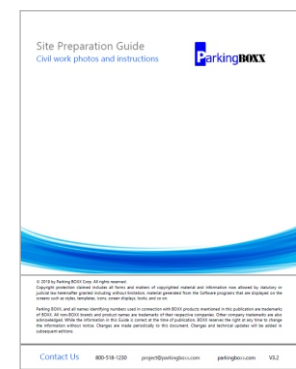
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- B - 1.3 CloudEASE Entry/Exit Island Detail: Conduits
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- C - 1.0 CloudEASE Entry Island Detail: Overview
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- D - 1.3 CloudEASE Exit Island Detail: Conduits
- D - 1.4 CloudEASE Exit Island Detail: Cabling
- D - 1.5 CloudEASE Exit Island Detail: Finished Island View

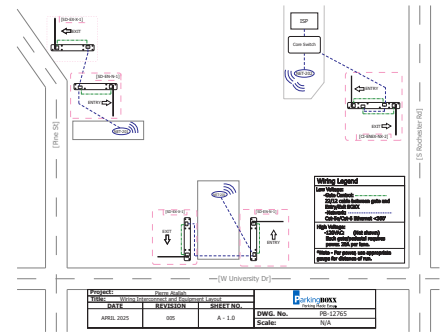
Drawings Set V-001

Release Date: 04.08.2025

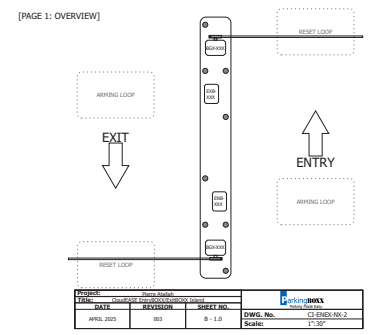
Refer to the Site Preparation Guide for useful tips, explanations and example photos



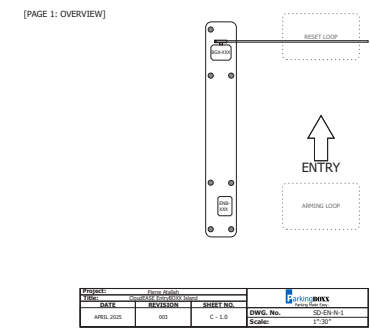
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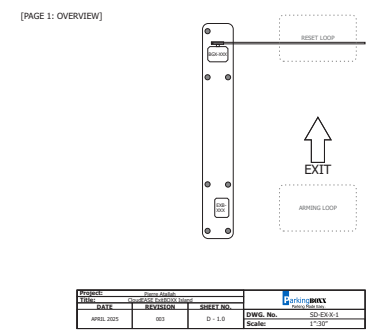
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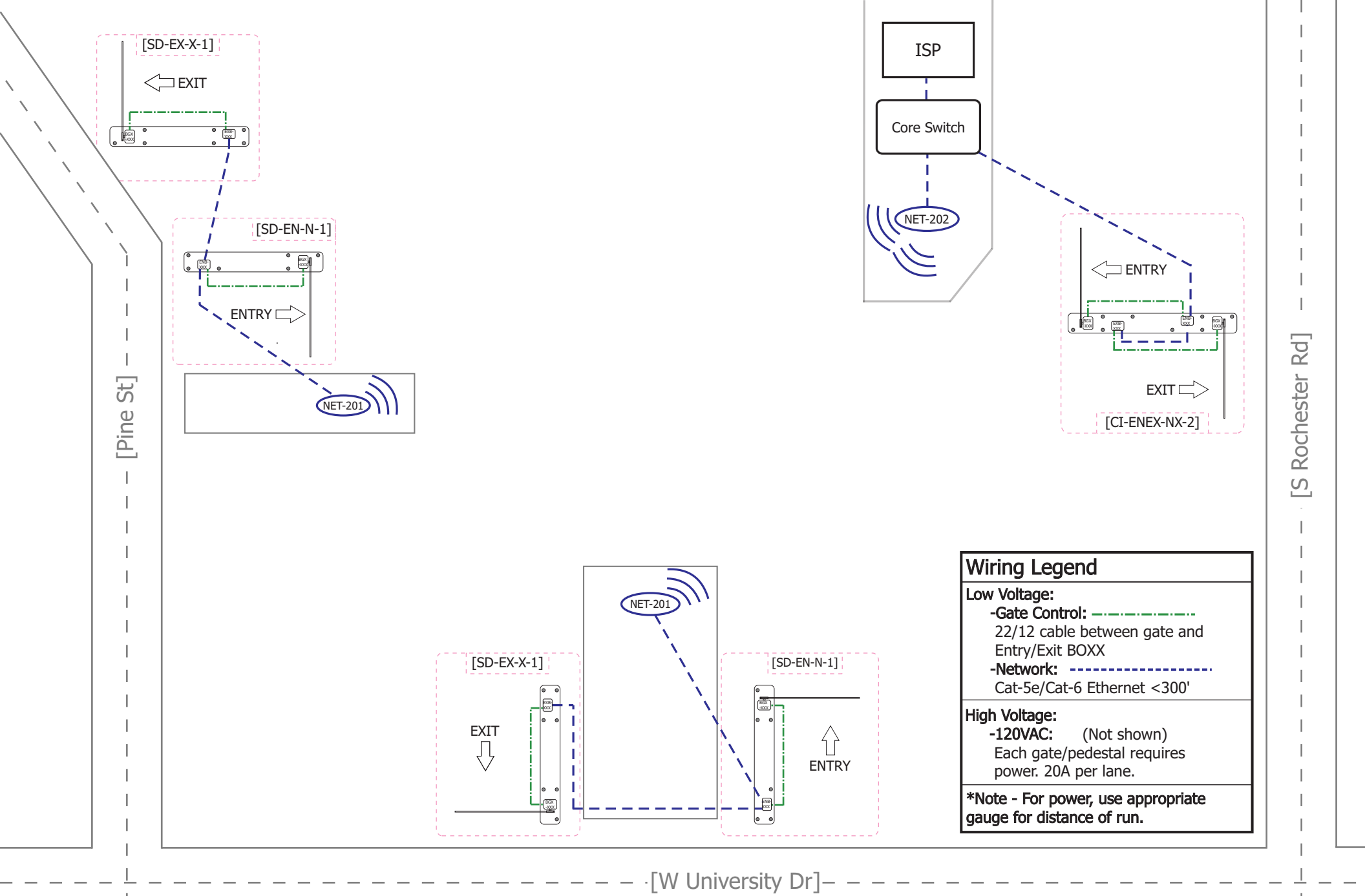
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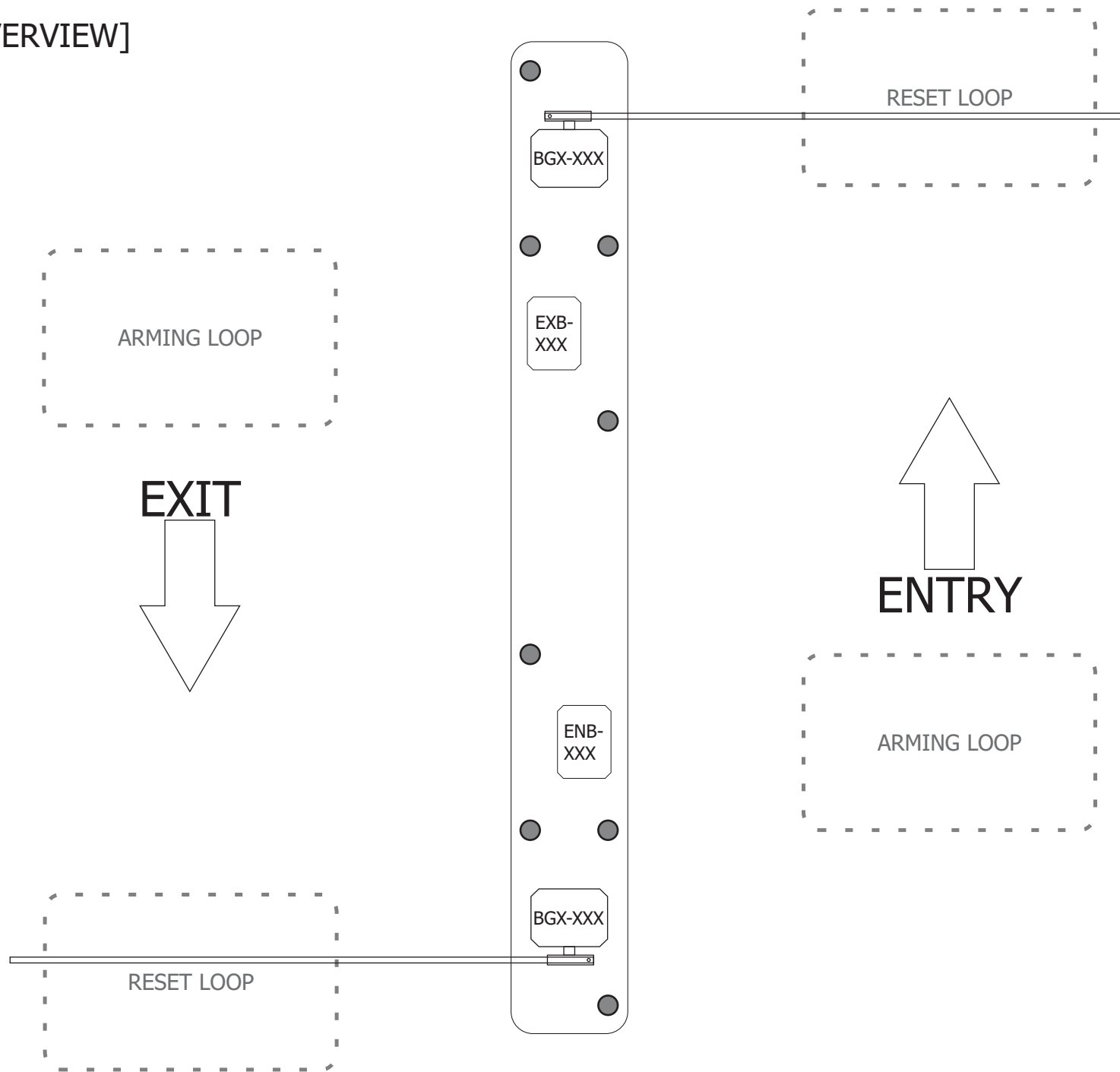



DRAWING ISLAND DIMENSIONS MAY NOT MATCH EXISTING ISLAND, DATA AND POWER CABLING MUST MATCH DRAWING



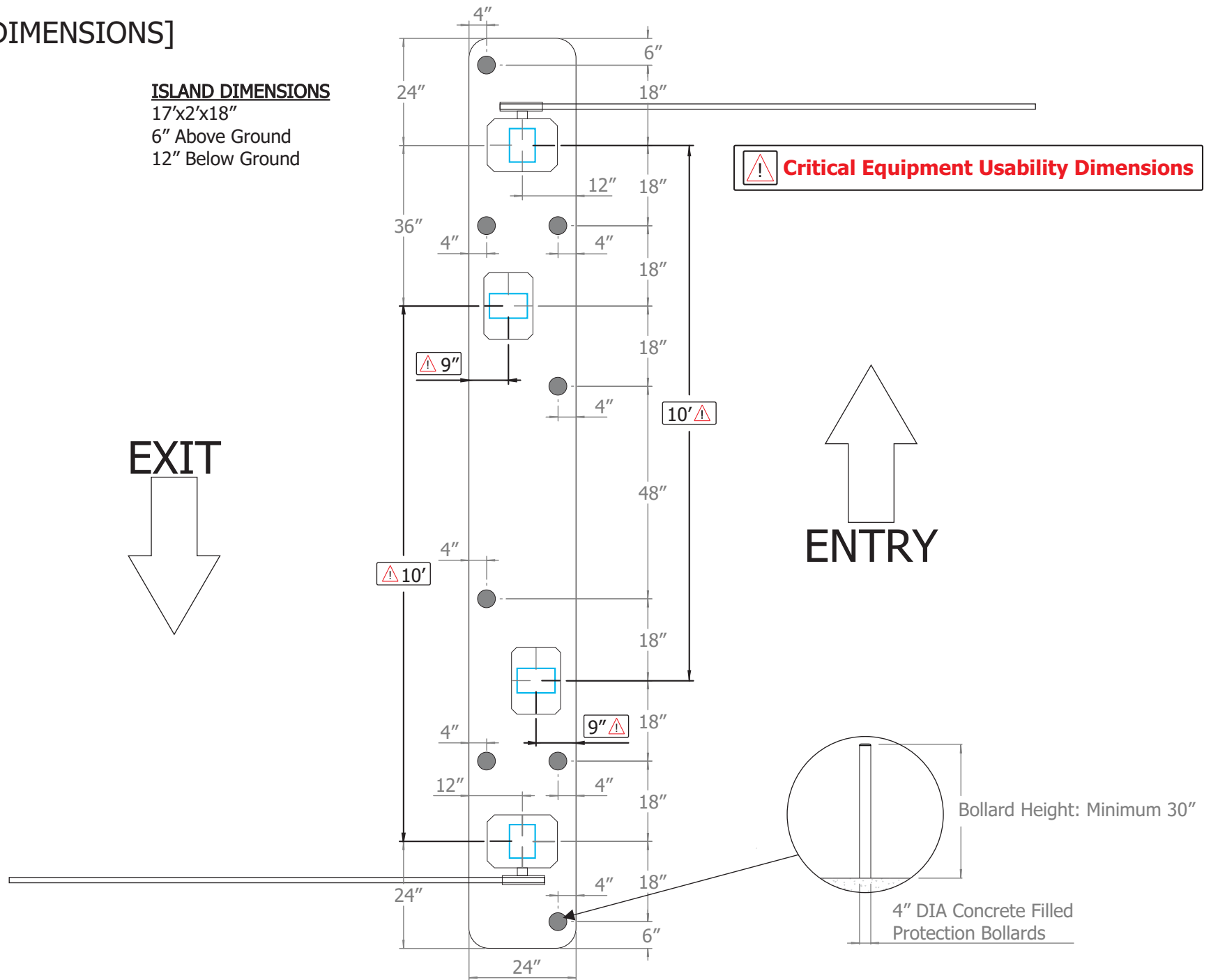
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Title: Wiring Interconnect and Equipment Layout		
DATE	REVISION	SHEET NO.
APRIL 2025	005	A - 1.0 51


DWG. No.	PB-12765
Scale:	N/A



Project: Pierre Atallah				
Title: CloudEASE EntryBOXX/ExitBOXX Island				
DATE	REVISION	SHEET NO.	DWG. No.	CI-ENEX-NX-2
APRIL 2025	003	B - 1.0 52	Scale:	1":30"

ISLAND DIMENSIONS
 17'x2'x18"
 6" Above Ground
 12" Below Ground



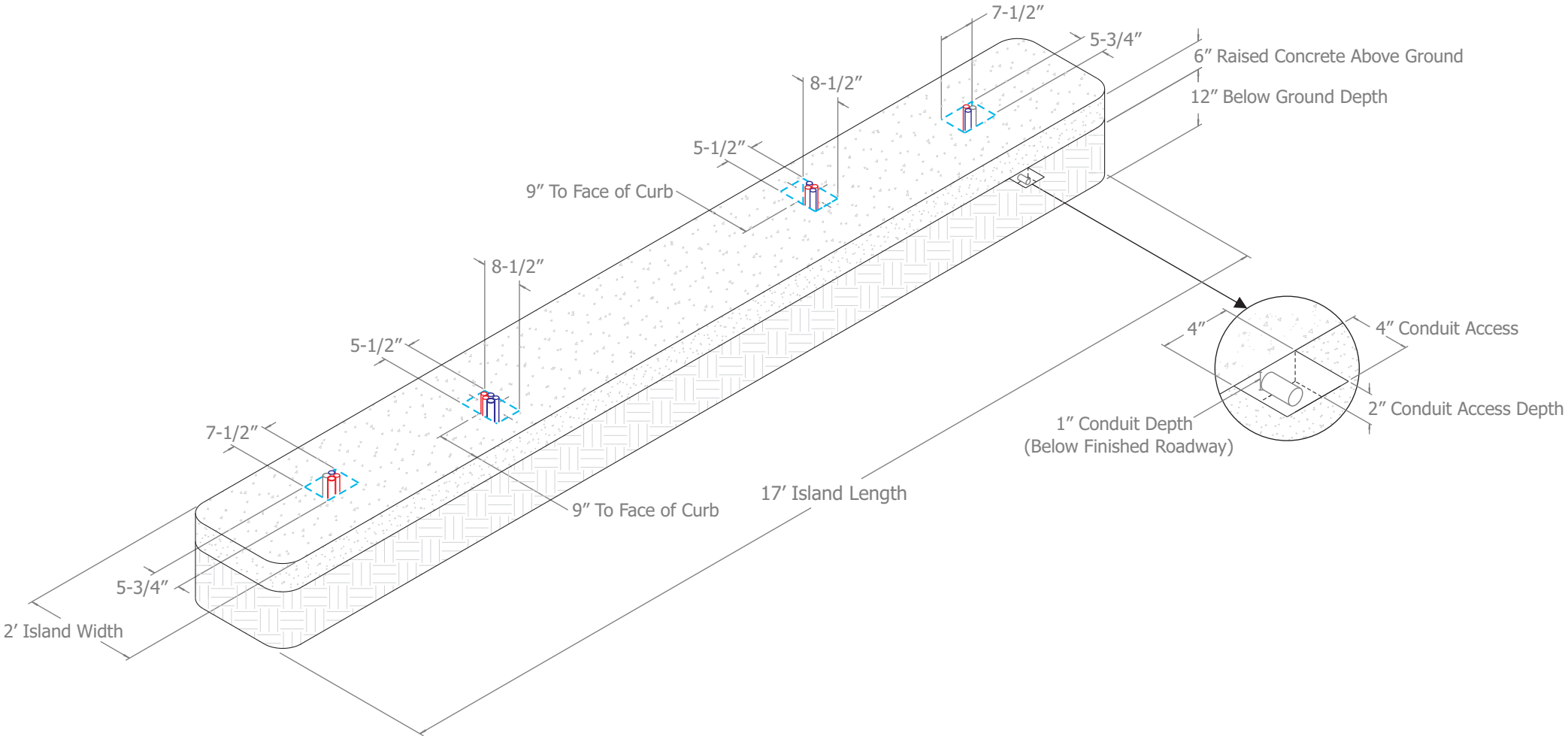
Project: Pierre Atallah			 Parking Made Easy®	
Title: CloudEASE EntryBOXX/ExitBOXX Island				
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ISLAND DIMENSIONS

17'x2'x18"

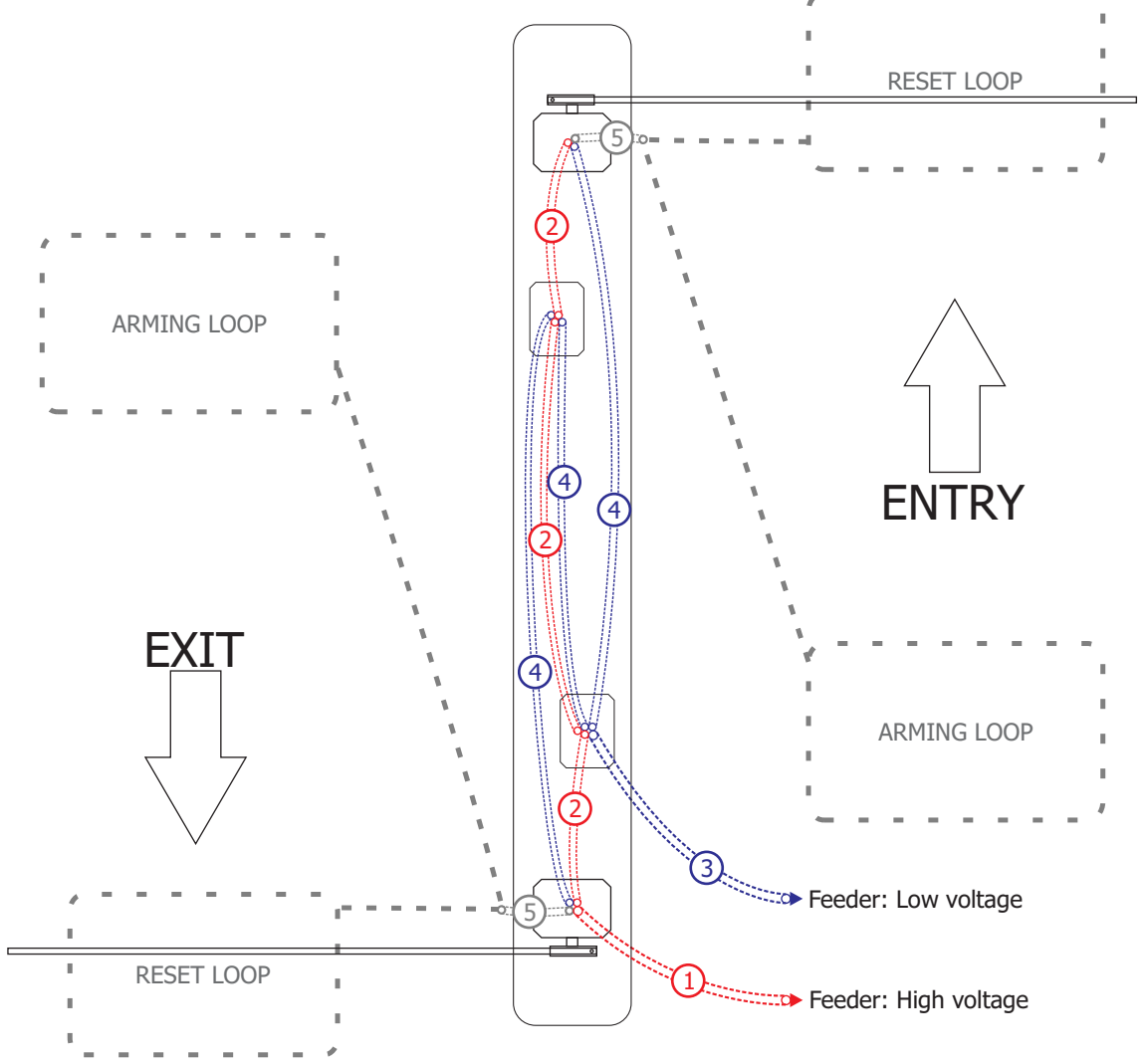
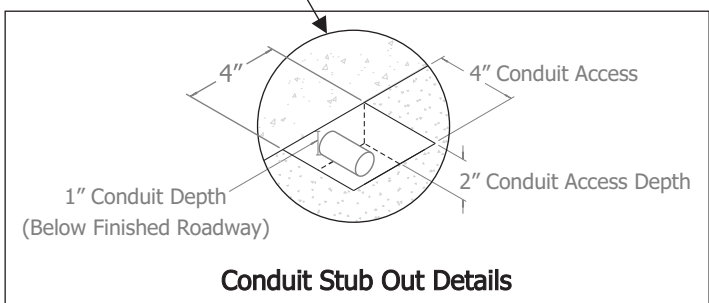
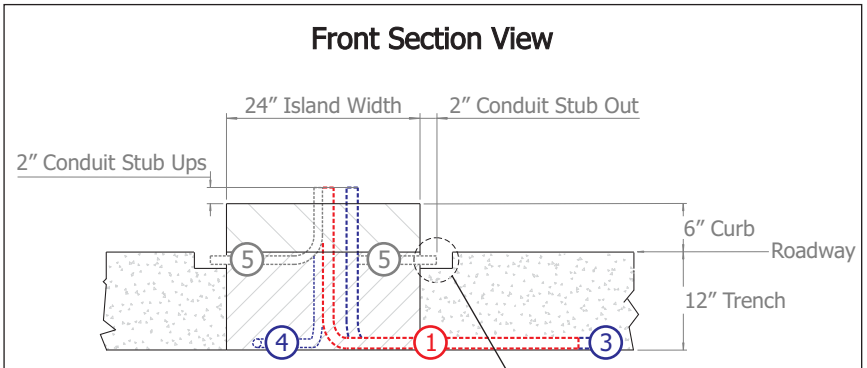
6" Above Ground


12" Below Ground



Project: Pierre Atallah			 Parking Made Easy®	
Title: CloudEASE EntryBOXX/ExitBOXX Island				
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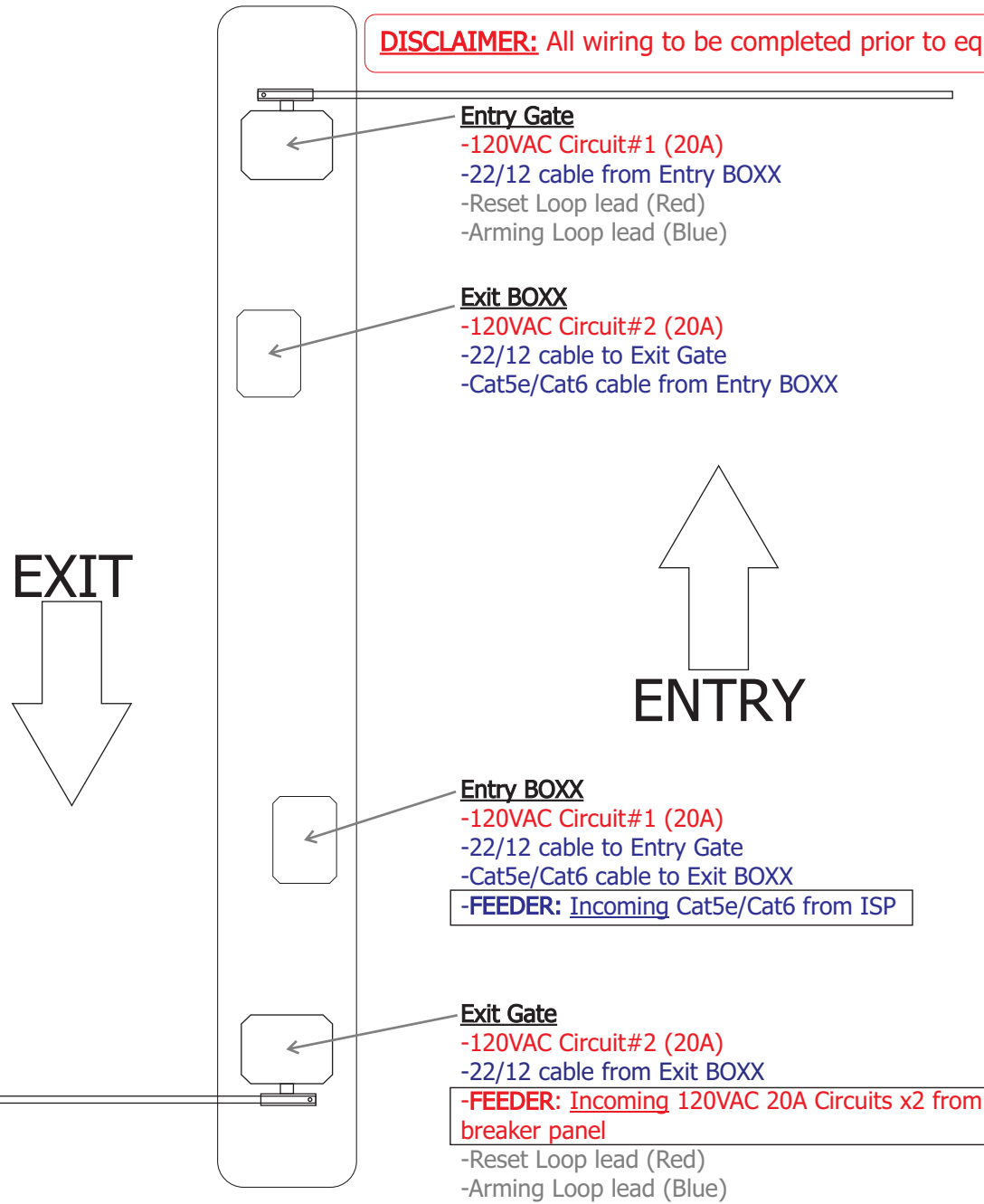
Conduit Legend	
High Voltage	
①	1" SCH 40 PVC for incoming power
②	3/4" SCH 40 PVC between machines for high voltage cables
Low Voltage	
③	1" SCH 40 PVC for incoming data cables
④	3/4" SCH 40 PVC between machines for low voltage cables
Loop Sensors	
⑤	3/4" SCH 40 PVC loop lead conduit; Stub out 2" from curb and 1" below finished roadway (leave accessible)




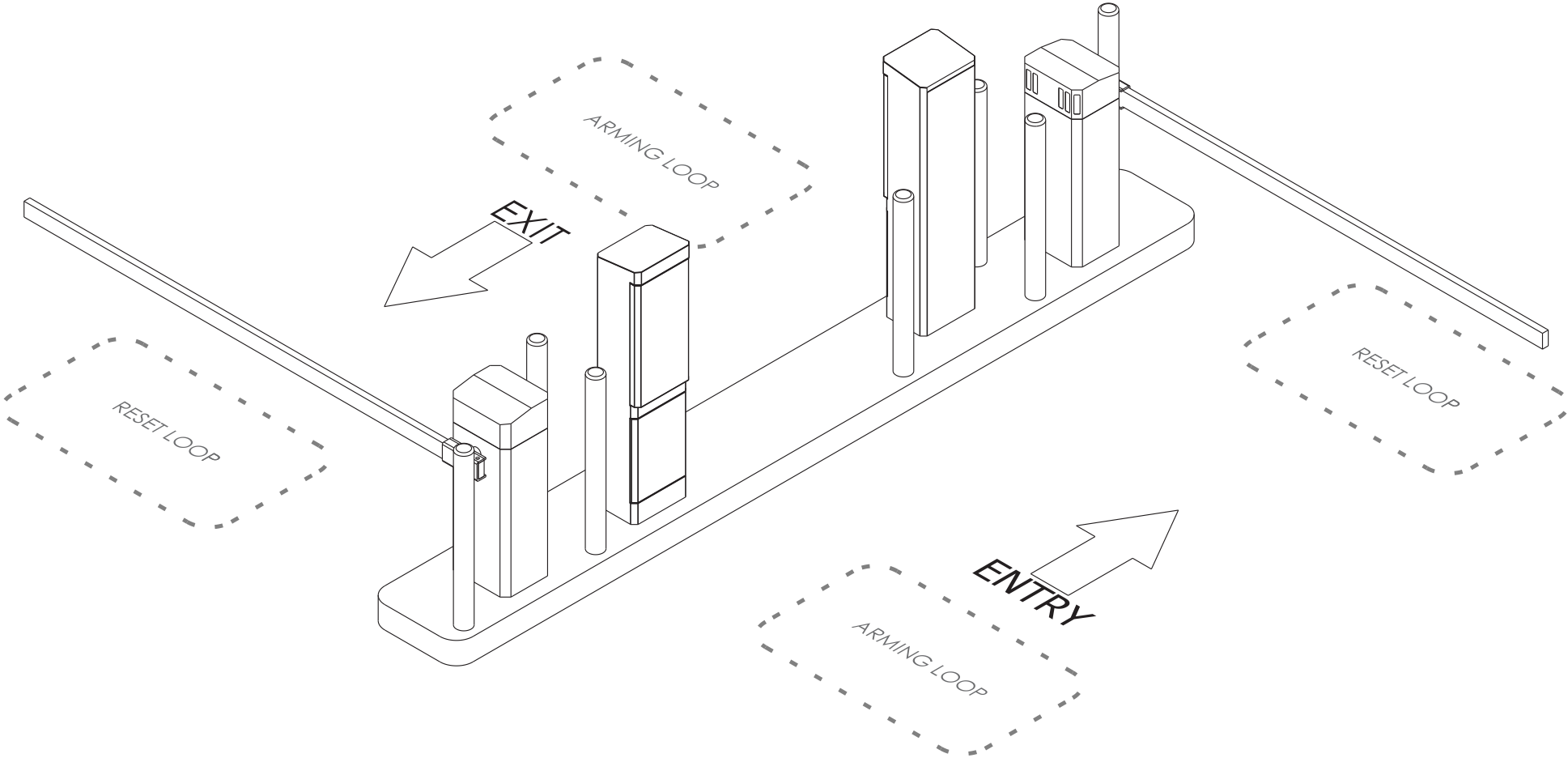
Project: Pierre Atallah			 Parking Made Easy®	
Title: CloudEASE EntryBOXX/ExitBOXX Island				
DATE	REVISION	SHEET NO.	DWG. No.	CI-ENEX-NX-2
APRIL 2025	003	B - 1.3 55	Scale:	1":30"


Wiring Legend	
High Voltage	
Power:	
-120VAC / 20A x2: Extend power cables 2' above island at each machine location	
Low Voltage	
Data:	
-Ethernet: Cat-5e/Cat-6 from ISP to ENB-XXX, and from ENB-XXX to EXB-XXX. <300' per cable Extend ethernet cables 6' above island at Entry/Exit BOXX locations	
Signal:	
-Gate Open: 22/12 Cable between gate and respective Entry/Exit BOXX Extend signal cables 4' above island at each machine location	
Loop Sensors	
Reset:	
-Red twisted leads AWG 16 or AWG 12 Stranded Extend loop wires 4' above island	
Arming:	
-Blue twisted leads AWG 16 or AWG 12 Stranded Extend loop wires 4' above island	
Refer to site Preparation Guide for more details.	
*Note - For power, use appropriate gauge for distance of run.	

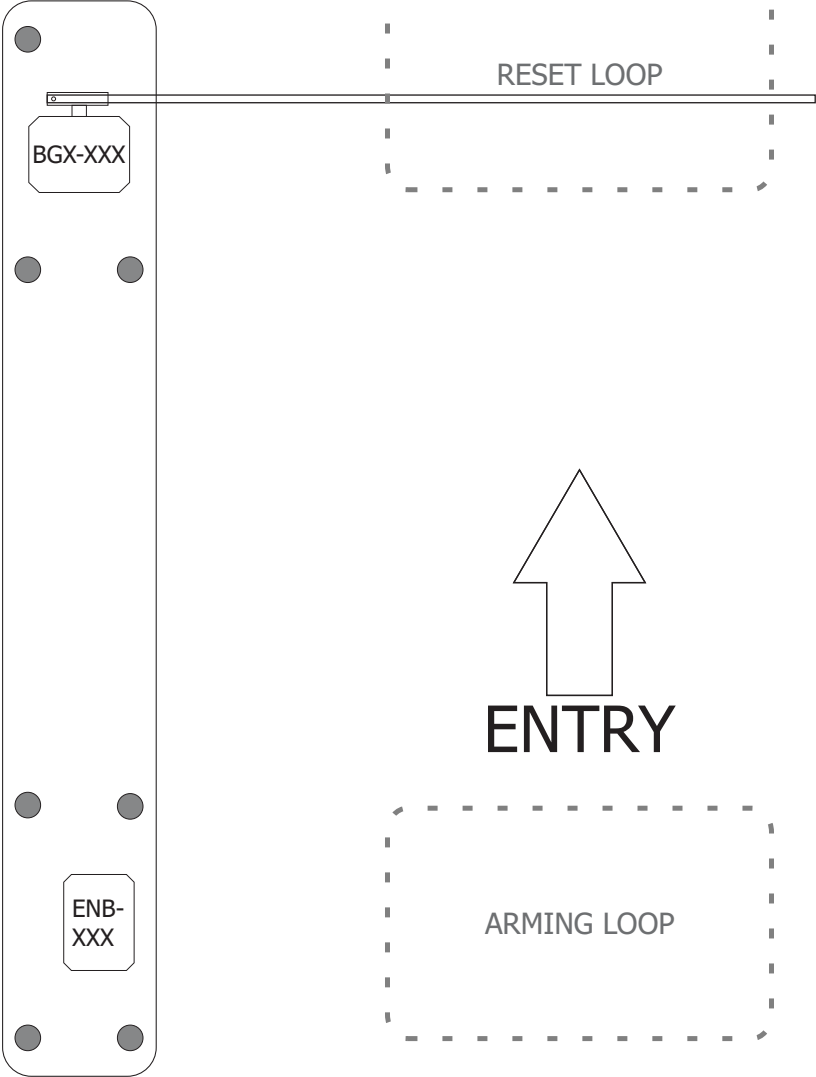
DISCLAIMER: All wiring to be completed prior to equipment installation.




Project: Pierre Atallah			 Parking Made Easy®	
Title: CloudEASE EntryBOXX/ExitBOXX Island				
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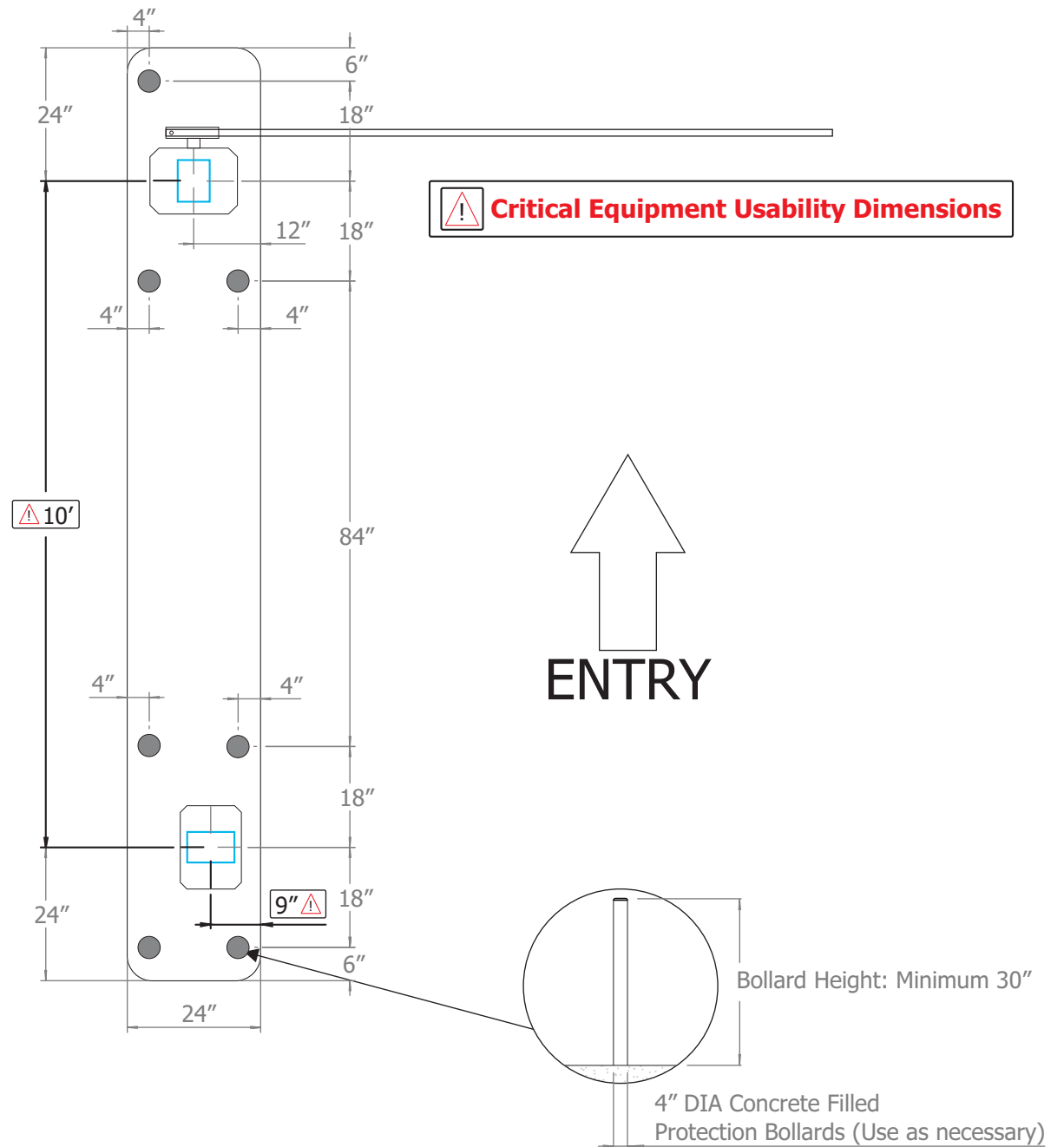



Project: Pierre Atallah				
Title: CloudEASE EntryBOXX/ExitBOXX Island				
DATE	REVISION	SHEET NO.	DWG. No.	CI-ENEX-NX-2
APRIL 2025	003	B - 1.5 57	Scale:	1":30"



Project: Pierre Atallah			 Parking Made Easy®	
Title: CloudEASE EntryBOXX Island				
DATE	REVISION	SHEET NO.	DWG. No.	SD-EN-N-1
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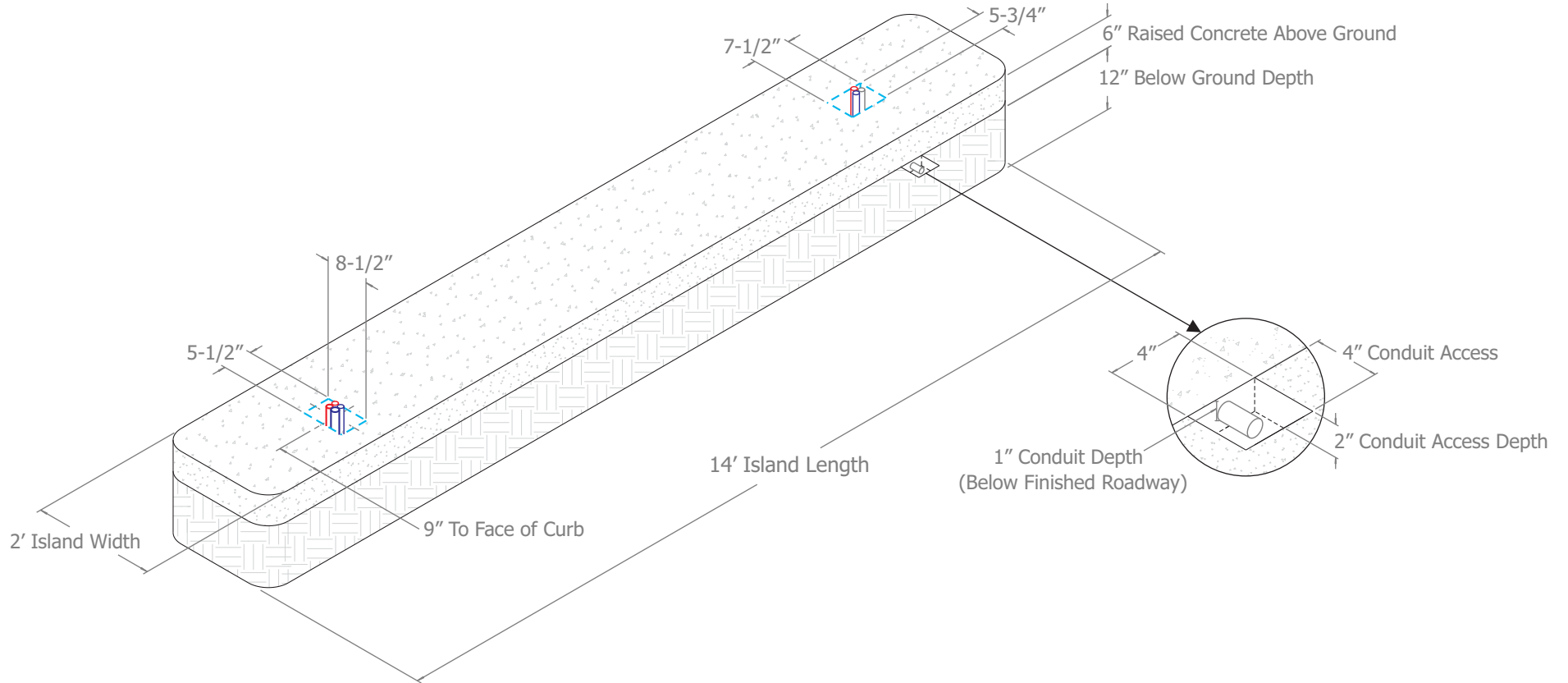
ISLAND DIMENSIONS
 14'x2'x18"
 6" Above Ground
 12" Below Ground




Project: Pierre Atallah			 Parking Made Easy®	
Title: CloudEASE EntryBOXX Island				
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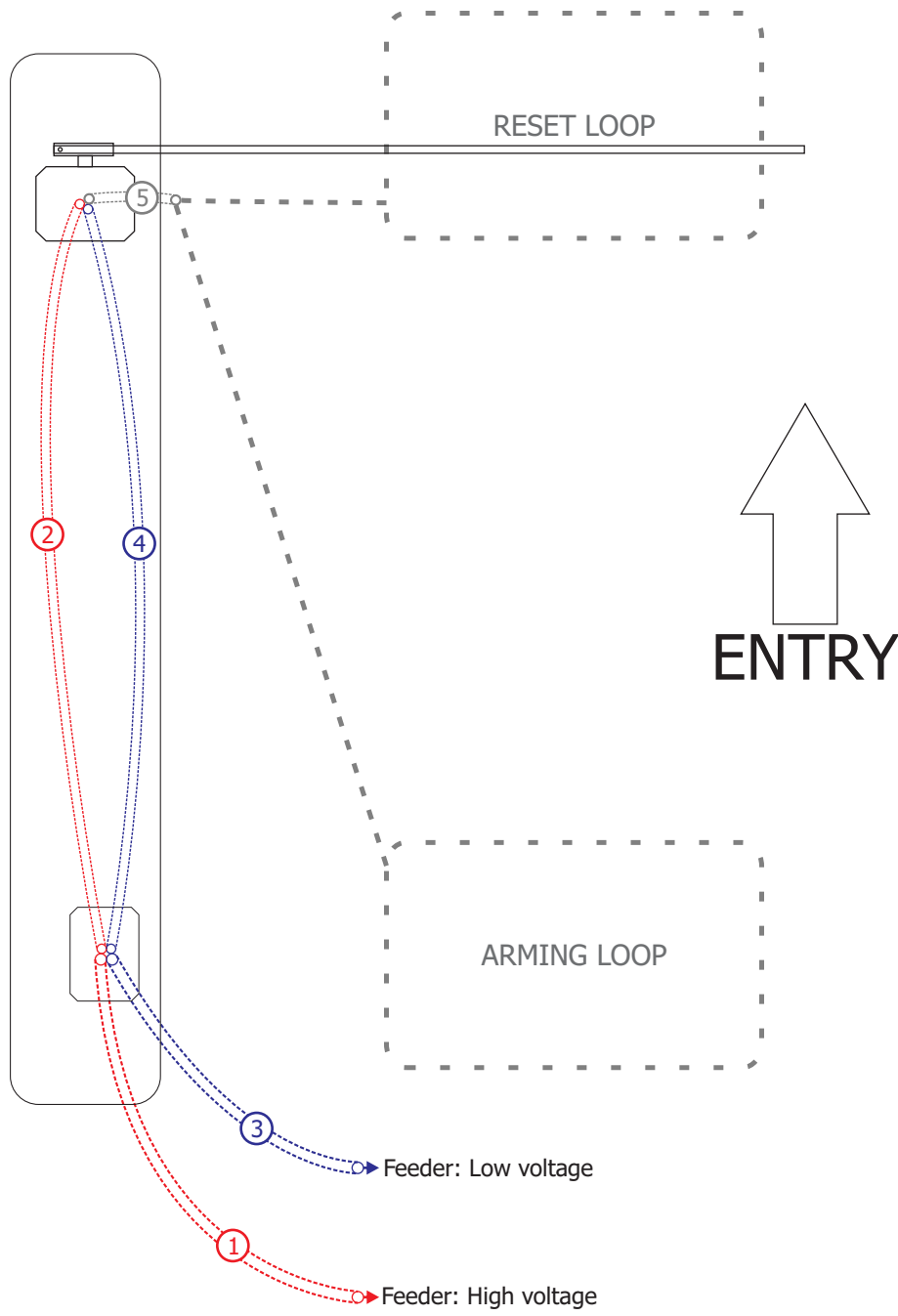
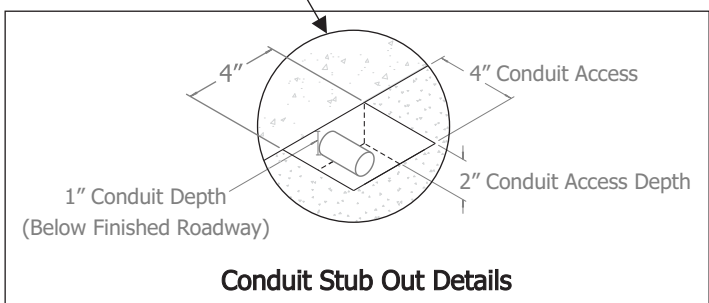
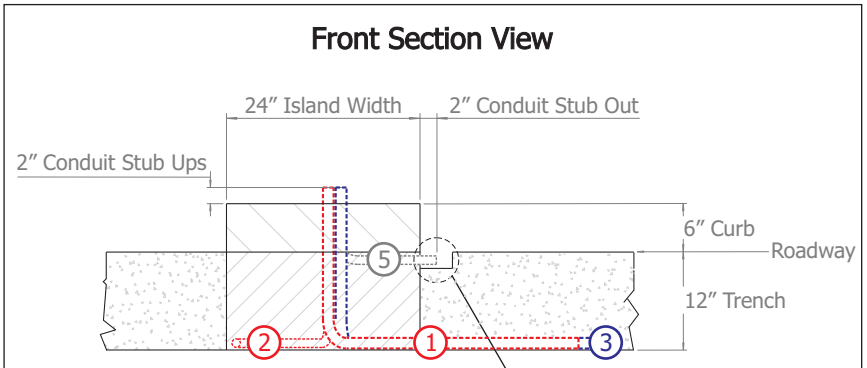
ISLAND DIMENSIONS


14'x2'x18"
 6" Above Ground
 12" Below Ground



Project: Pierre Atallah			 Parking Made Easy®
Title: CloudEASE EntryBOXX Island			
DATE	REVISION	SHEET NO.	DWG. No. SD-EN-N-1
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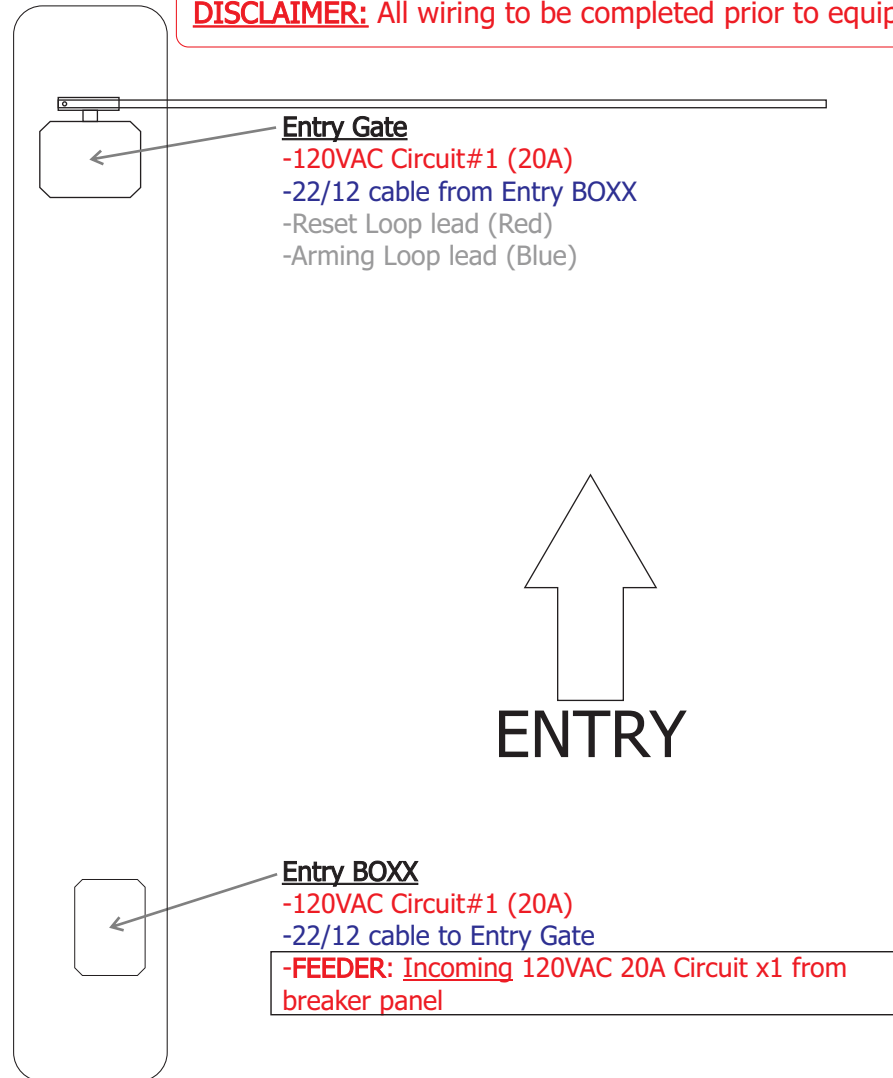
Conduit Legend	
High Voltage	
①	1" SCH 40 PVC for incoming power
②	3/4" SCH 40 PVC between machines for high voltage cables
Low Voltage	
③	1" SCH 40 PVC for incoming data cables
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Loop Sensors	
⑤	3/4" SCH 40 PVC loop lead conduit; Stub out 2" from curb and 1" below finished roadway (leave accessible)




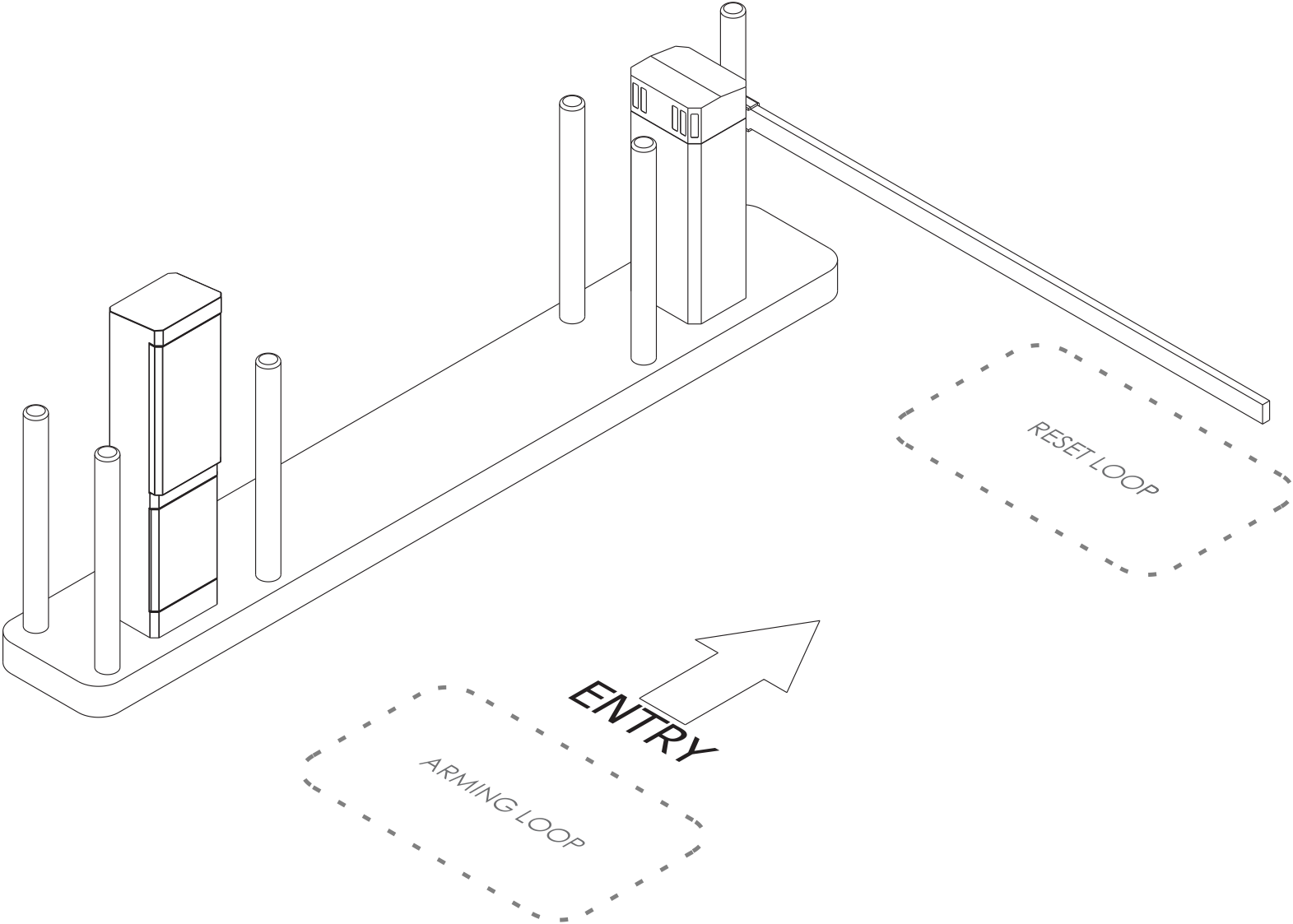
Project: Pierre Atallah			 Parking Made Easy®	
Title: CloudEASE EntryBOXX Island				
DATE	REVISION	SHEET NO.	DWG. No.	SD-EN-N-1
APRIL 2025	003	C - 1.3 61	Scale:	1":30"


Wiring Legend		
High Voltage		
Power:		
-120VAC / 20A x1: Extend power cables 2' above island at each machine location		
Low Voltage		
Data:		
-Ethernet: Cat-5e/Cat-6 from ENB-XXX to closest EXB-XXX Island. <300' per cable Extend ethernet cables 6' above island at Entry/Exit BOXX locations		
Signal:		
-Gate Open: 22/12 Cable between gate and Entry BOXX Extend signal cables 4' above island at each machine location		
Loop Sensors		
Reset:		
-Red twisted leads AWG 16 or AWG 12 Stranded Extend loop wires 4' above island		
Arming:		
-Blue twisted leads AWG 16 or AWG 12 Stranded Extend loop wires 4' above island		
Refer to site Preparation Guide for more details.		
*Note - For power, use appropriate gauge for distance of run.		

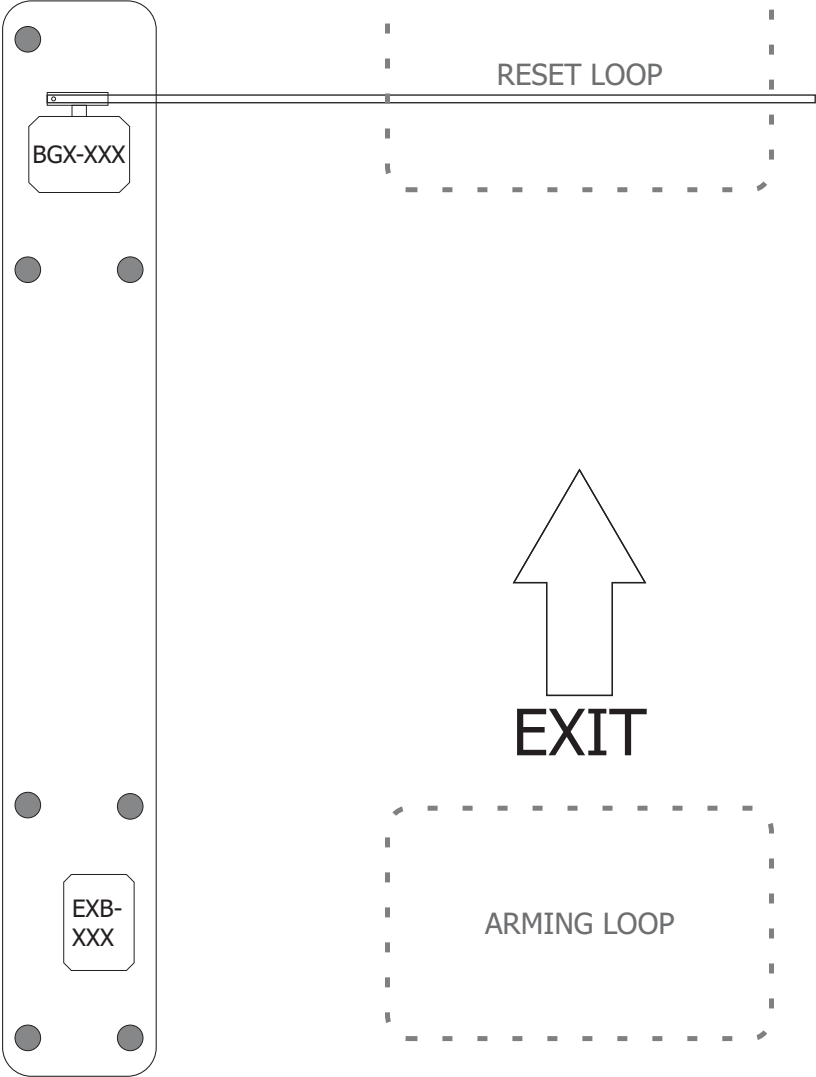
DISCLAIMER: All wiring to be completed prior to equipment installation.




Project: Pierre Atallah			 Parking Made Easy®	
Title: CloudEASE EntryBOXX Island				
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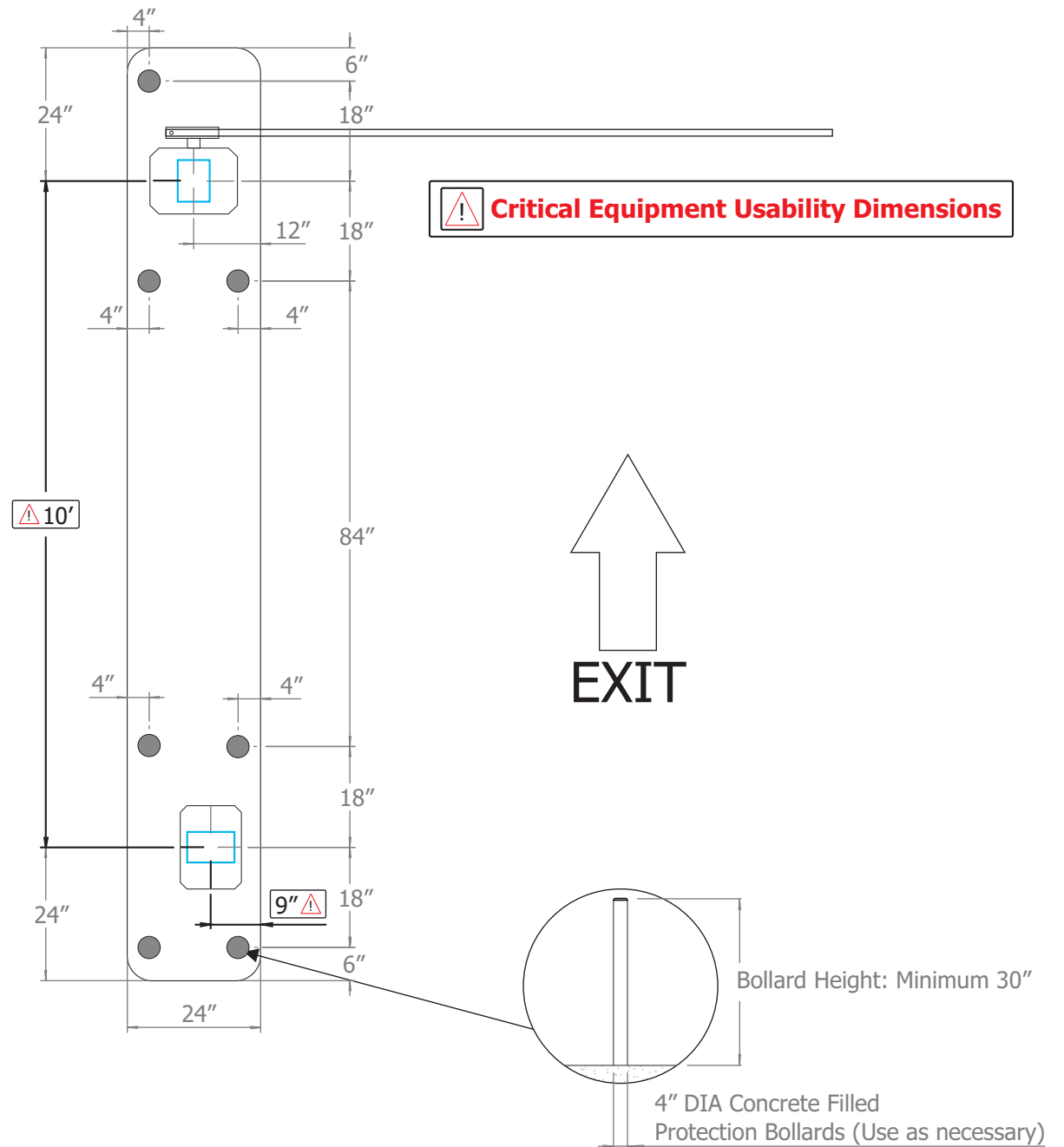



Project: Pierre Atallah			 Parking Made Easy®	
Title: CloudEASE EntryBOXX Island				
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Project: Pierre Atallah				
Title: CloudEASE ExitBOXX Island				
DATE	REVISION	SHEET NO.	DWG. No.	SD-EX-X-1
APRIL 2025	003	D - 1.0 64	Scale:	1":30"

ISLAND DIMENSIONS
 14'x2'x18"
 6" Above Ground
 12" Below Ground



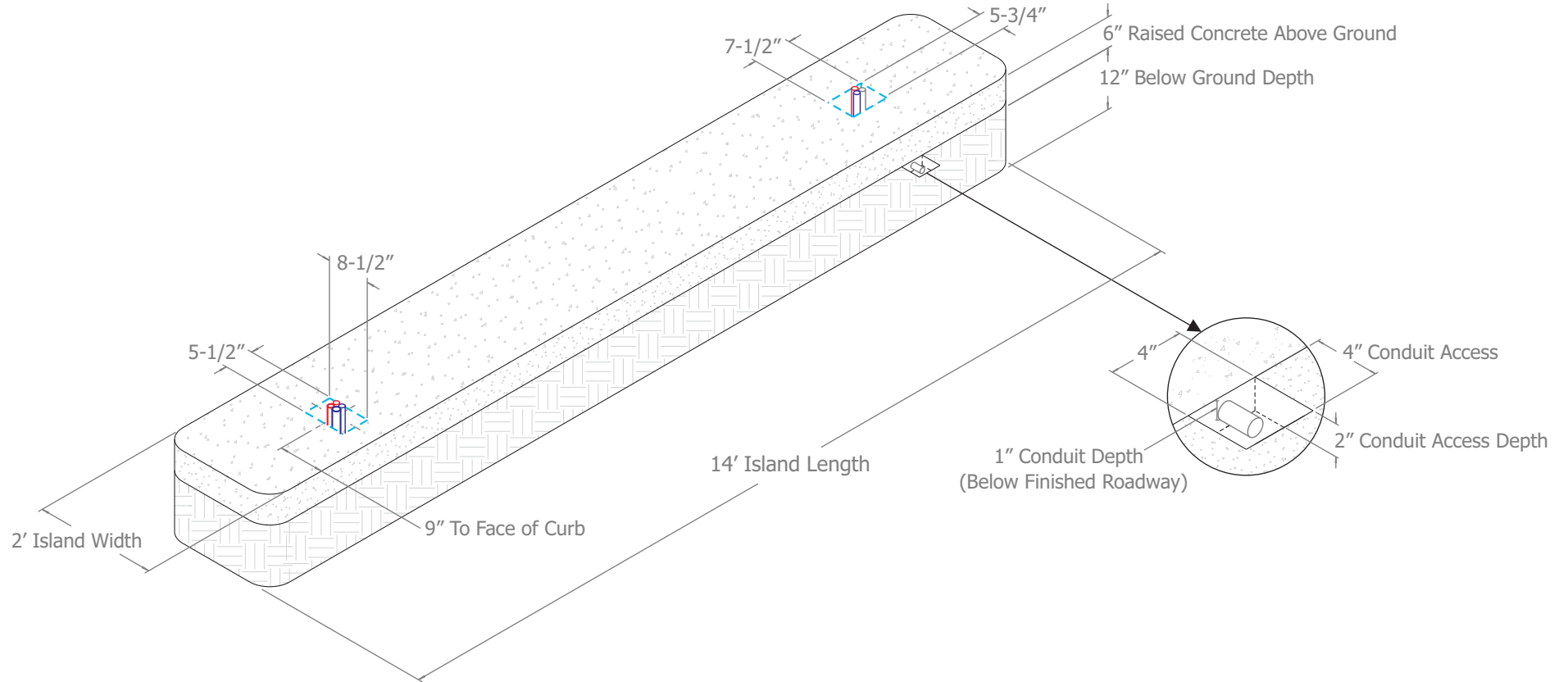
Project: Pierre Atallah			 Parking Made Easy®	
Title: CloudEASE ExitBOXX Island				
DATE	REVISION	SHEET NO.	DWG. No.	SD-EX-X-1
APRIL 2025	003	D - 1.1 65	Scale:	1":30"


ISLAND DIMENSIONS

14'x2'x18"

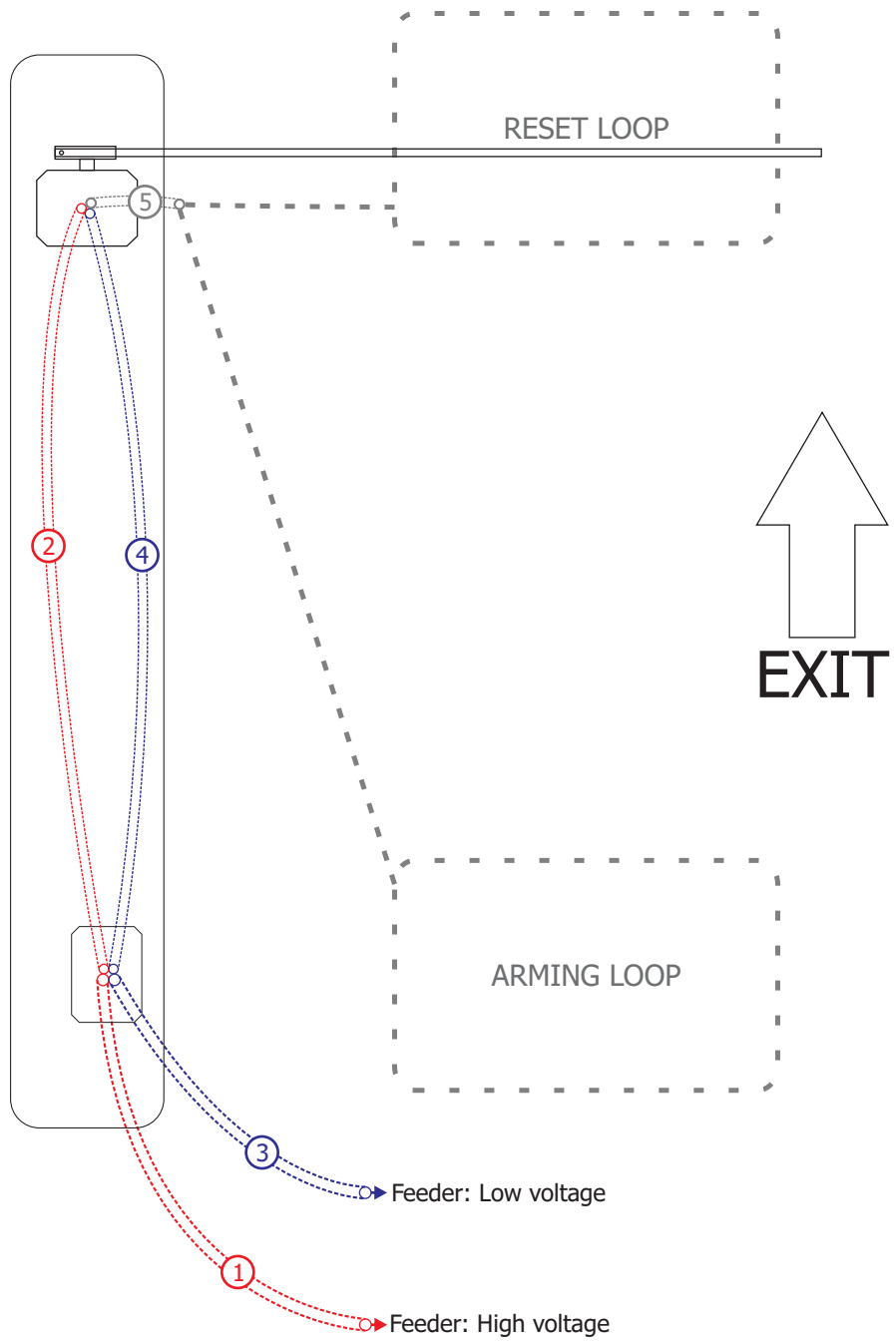
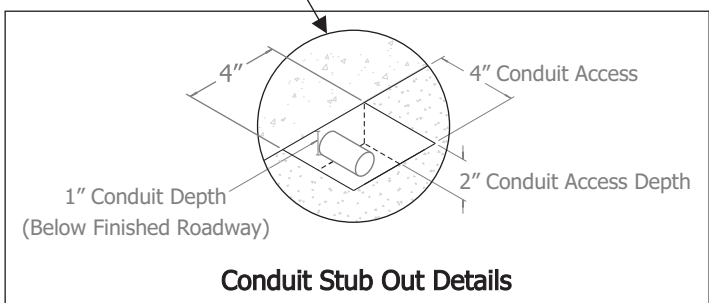
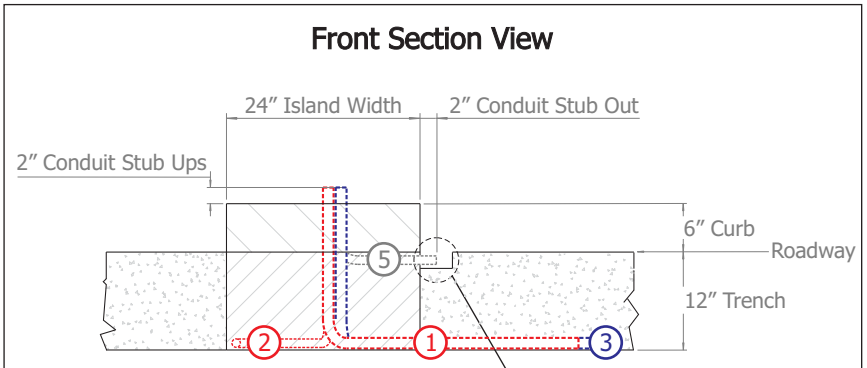
6" Above Ground

12" Below Ground



Project: Pierre Atallah			 Parking Made Easy®
Title: CloudEASE ExitBOXX Island			
DATE	REVISION	SHEET NO.	DWG. No. SD-EX-X-1 Scale: 1":30"
APRIL 2025	003	D - 1.2 66	

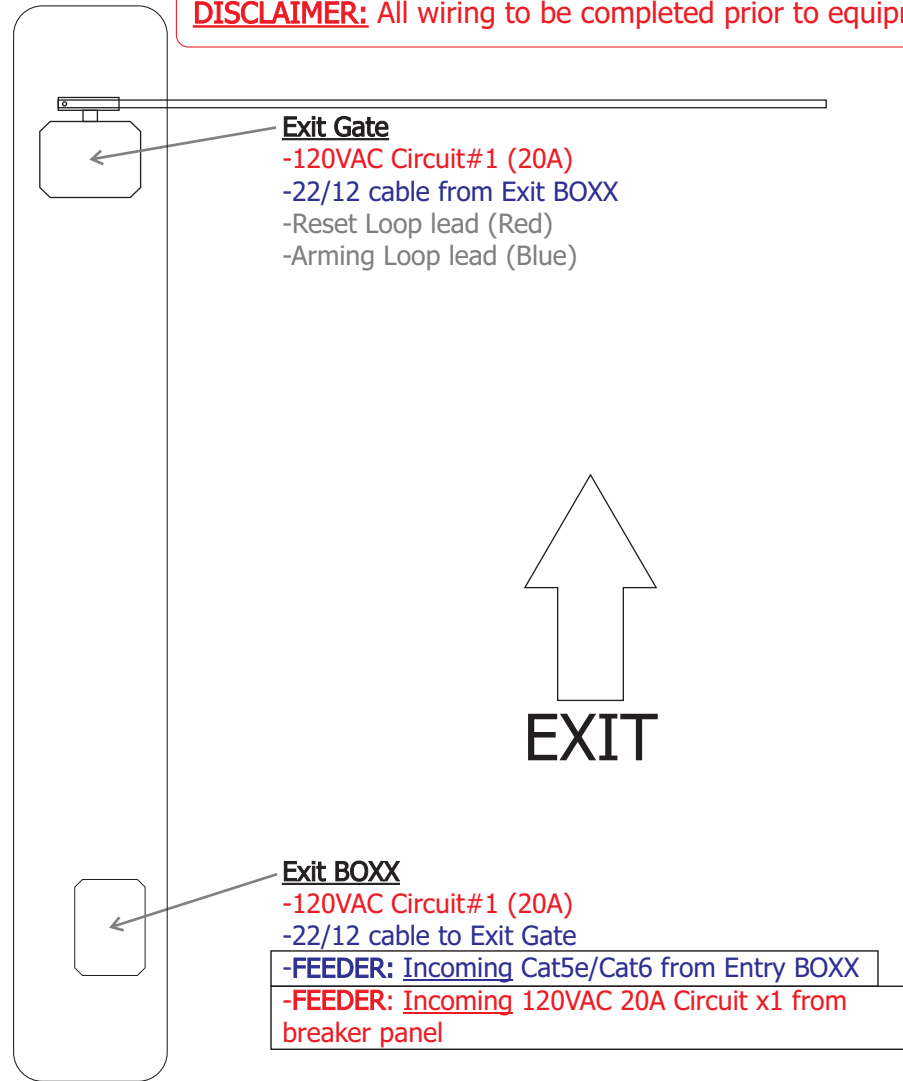
Conduit Legend	
High Voltage	
①	1" SCH 40 PVC for incoming power
②	3/4" SCH 40 PVC between machines for high voltage cables
Low Voltage	
③	1" SCH 40 PVC for incoming data cables
④	3/4" SCH 40 PVC between machines for low voltage cables
Loop Sensors	
⑤	3/4" SCH 40 PVC loop lead conduit; Stub out 2" from curb and 1" below finished roadway (leave accessible)




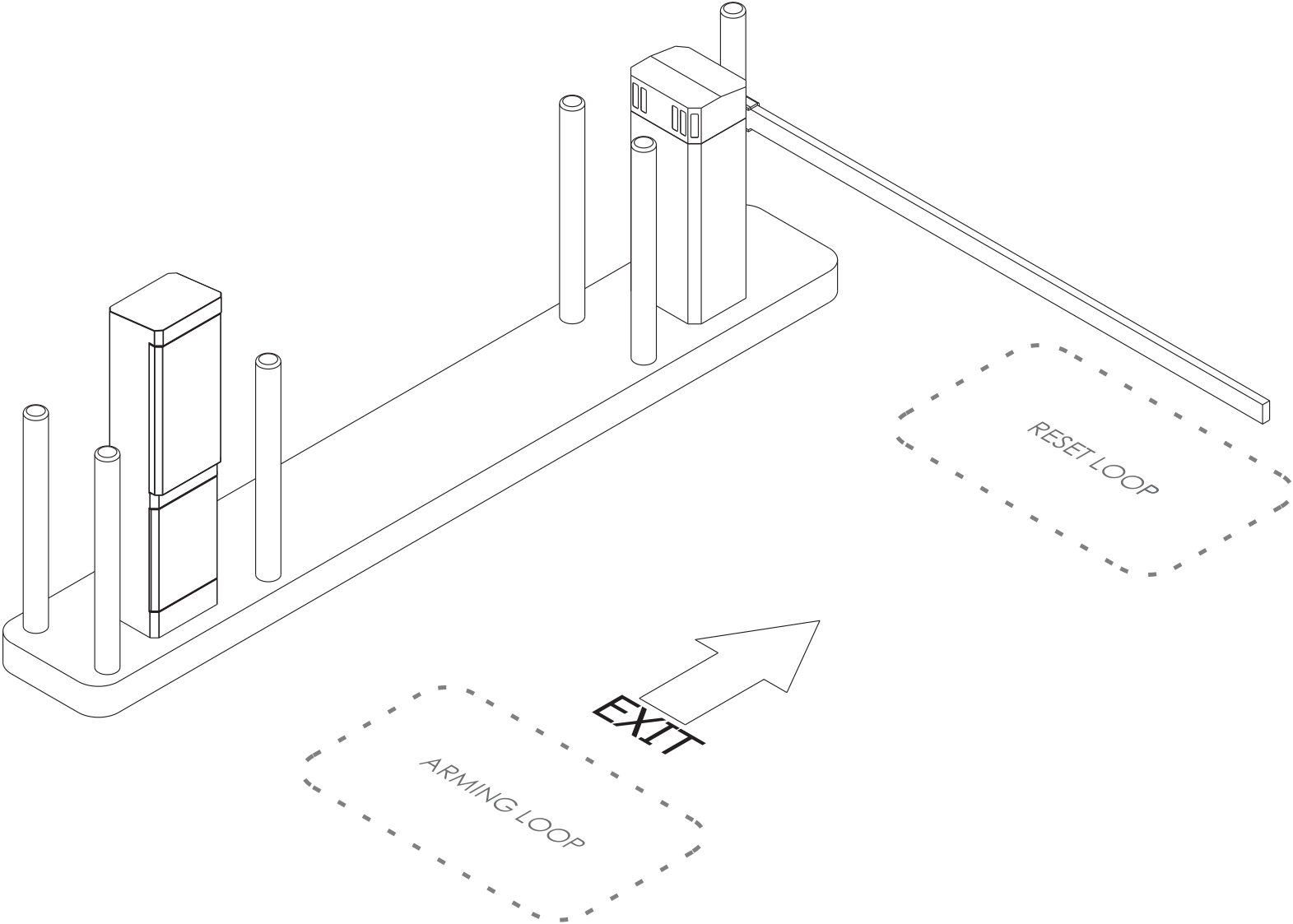
Project: Pierre Atallah				
Title: CloudEASE ExitBOXX Island				
DATE	REVISION	SHEET NO.	DWG. No.	SD-EX-X-1
APRIL 2025	003	D - 1.3 67	Scale:	1":30"


Wiring Legend		
High Voltage		
Power:		
-120VAC / 20A x1: Extend power cables 2' above island at each machine location		
Low Voltage		
Data:		
-Ethernet: Cat-5e/Cat-6 from ENB-XXX <300' per cable Extend ethernet cables 6' above island at Entry/Exit BOXX locations		
Signal:		
-Gate Open: 22/12 Cable between gate and Exit BOXX Extend signal cables 4' above island at each machine location		
Loop Sensors		
Reset:		
-Red twisted leads AWG 16 or AWG 12 Stranded Extend loop wires 4' above island		
Arming:		
-Blue twisted leads AWG 16 or AWG 12 Stranded Extend loop wires 4' above island		
Refer to site Preparation Guide for more details.		
*Note - For power, use appropriate gauge for distance of run.		

DISCLAIMER: All wiring to be completed prior to equipment installation.



Project: Pierre Atallah			 Parking Made Easy®	
Title: CloudEASE ExitBOXX Island				
DATE	REVISION	SHEET NO.	DWG. No.	SD-EX-X-1
APRIL 2025	003	D - 1.4 68	Scale:	1":30"



Project: Pierre Atallah				
Title: CloudEASE ExitBOXX Island				
DATE	REVISION	SHEET NO.	DWG. No.	SD-EX-X-1
APRIL 2025	003	D - 1.5 69	Scale:	1":30"

Site Preparation Guide

Civil work photos and instructions



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Cabling Requirements: Power & Communications

Power

All of our machines run on 120VAC single-phase @ 60 Hz. We specify a single 20A circuit per lane and most lanes will have 2+ pieces of equipment that will share this circuit. These circuits should be dedicated and not shared with light posts or other equipment. We do not specify the gauge of wire required since it will depend on the distance of the run which is site specific.

Communications

Network – All devices that require a network connection will be shown on the interconnect drawing with a blue dotted line. For most applications, Cat-5e or Cat-6 (UTP) cable will be appropriate. Cables must be less than 300' in length, and terminated at the switch/patch panel/router end. BOXX will terminate cable ends at the machines. If there is a cable run that will be longer than 300', alternate means must be employed such as fiber-optic cable and media converters or copper ethernet extenders. If physically running cable to a location is not possible, you will need to employ a wireless solution. We recommend running physical cable whenever possible and only using a wireless infrastructure as a last resort. We do not have a specification for fiber-optic or wireless hardware because it will largely depend on the situation and existing infrastructure in place. All of the BOXX hardware must be on the **SAME** network.

Serial Data – All card readers and ticket dispensers require a serial data connection*, and will be shown on the interconnect drawing with a red dotted line. The most accessible cable that can be used for this application is Shielded Cat-5e or Shielded Cat-6 (STP/FTP). This is similar to the standard cable used for networking, however, it is paramount that shielded cable is used for this application. Unlike the network cables, the serial data cable runs from the server to the first device where it terminates, and then from the first device to the second, second to third and so on; this is called a daisy-chain formation or Data BUS. It is important that the BUS is run in this fashion, and it will be shown on the interconnect drawing as such. The length of each individual cable on the chain does not matter as long as the total combined length of the chain is less than 4,000'. There should be no splices in the BUS. *Note: Serial data cables are not required for CloudEASE systems.

Phone line – Most BOXX systems are now utilizing VoIP intercoms which use the network cables as specified above and no additional cabling is required. If you requested analog intercoms for your system, you will need to run analog phone cables from the phone service panel to each device that will have an analog intercom. Terminations at the phone service panel will need to be done by the service provider. BOXX will terminate the cables at the machines. Cat-3/5/6 cable or any telecom cable may be used as the analog phone line medium.

Signal – Low voltage signal wire between the control device (Entry BOXX, Exit BOXX, Access Control Pedestal, etc.) and the barrier gate it is controlling. We specify 18-6 stranded unless otherwise noted. BOXX will terminate both ends of these cables.

Stub-up Length Requirements

Gate – Power and signal cables must stub up 3' from conduit.

Entry/Exit/Flat-Rate/Pay BOXX – Power cables must stub up 3' and data/signal cables must stub up 6' from conduit.

Access Control Pedestal – Power, data and signal cables must stub up 6' from conduit.

Conduits: Type and installation

Intra-Island Conduits

All conduits within the island forms should be ¾" schedule-40 PVC unless otherwise specified by specific site drawings. Conduits should be stubbed directly up at the locations indicated by the laneway drawings; tied tightly together and capped/taped before pouring concrete to avoid the introduction of debris or foreign objects. After the concrete is set, but before cables are pulled, all conduits on the island need to be cut down to 2-3" high (see section "New construction.../Conduits" for additional details) . **If the conduits are left too tall, the machines will not fit properly.**

Feeder Conduits

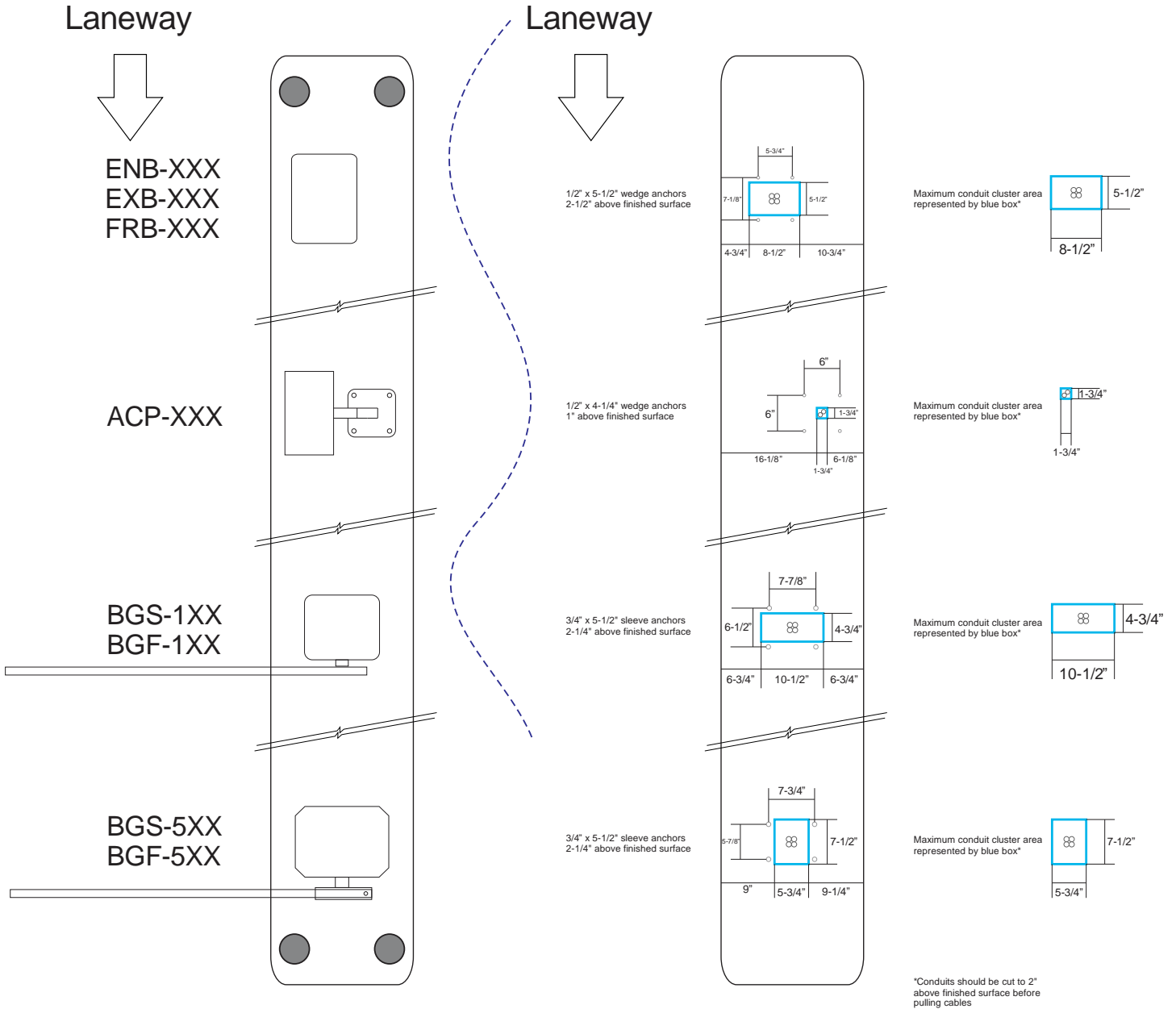
For most standard installations, feeder conduits will be 1" schedule-40 PVC. On a typical Entry/Exit parking island, there will be two feeder conduits; one for power that will run to an electrical room/breaker panel/etc., and one for data that runs to a network closet/parking booth/management office/etc. On systems that have more than one parking island, there will likely be multiple feeder conduits on some of the islands to not only connect the islands to their power/data sources, but also to connect them to one another. Though we specify 1" conduit for the feeders, you may need to increase the conduit size for runs that will have a higher than typical number of data cables, thicker gauge power cables to account for voltage drop over longer distances, or fiber optic cable with minimum conduit size requirements, etc. Consider all of the cabling required for your project scope before selecting your conduit size. Though we specify schedule-40 PVC, your building code/fire code/environmental code may impose other requirements.

Schedule-40 PVC 1"



Bolt patterns and conduit stub-up allowances

BOXX will install all anchoring bolts for the equipment, so it is not necessary to set any ahead of time. The purpose of the below diagrams is to show **WHERE** the bolts will be, as well as the mounting bars so that the conduit clusters are kept within the specified dimensions.



A larger, scaled version of this diagram is available upon request.

Induction Loop Sensors: Type and installation

Saw-cut loops

For laneways that are already surfaced (asphalt or concrete), the easiest and most cost-effective way to install the loop sensors is to saw-cut them into the finished surface. It is a minimally invasive cut (about 1/4" diameter). A coil of wire is laid into the sawcut and then sealed afterwards. Both ends of the coiled wire need to enter the island for termination at the loop detector module located inside of the gate operators. When framing your islands, it is very important that you install a loop lead conduit that is accessible from the finished surface of the laneway.



In most cases, BOXX will be responsible for cutting in the loop sensors. The most important responsibility of the customer will be to prepare the loop lead conduit so that it is accessible.

PVC pre-formed loops

For unsurfaced laneways (dirt or gravel), the easiest and most cost-effective way to install the loop sensors is to bury PVC pre-formed loops in the laneway.



If you are installing PVC preformed loops, this can be done before or after framing, but typically before pouring concrete. Alignment is easier when your conduit stub-ups have been completed. [Left] is an unframed island with conduit stub-ups and loops placed.

Once the loops are placed, they should be re-covered with dirt/gravel (especially if you are going to be paving over them). **The loops need to be 2-3" below the surface. If they are too deep, they will not function properly.**

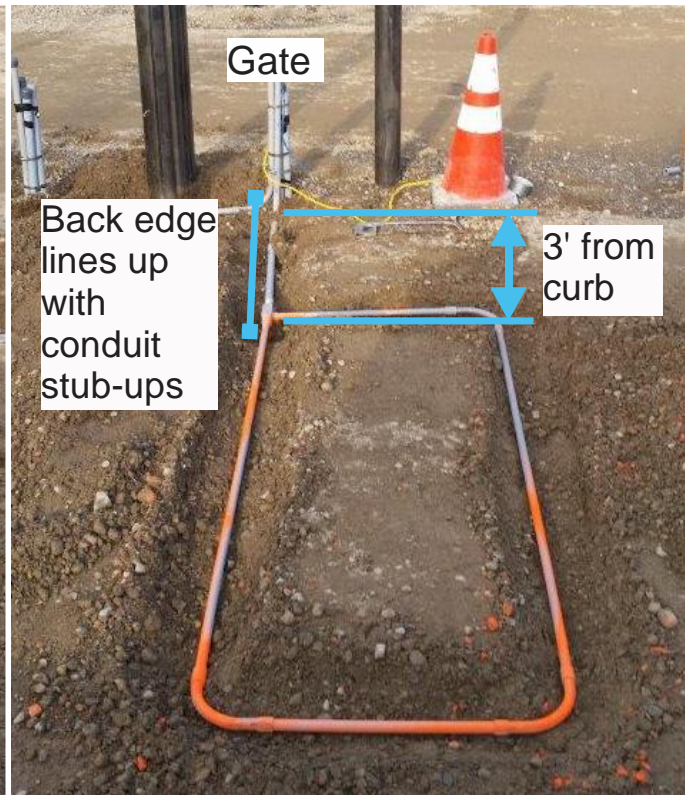
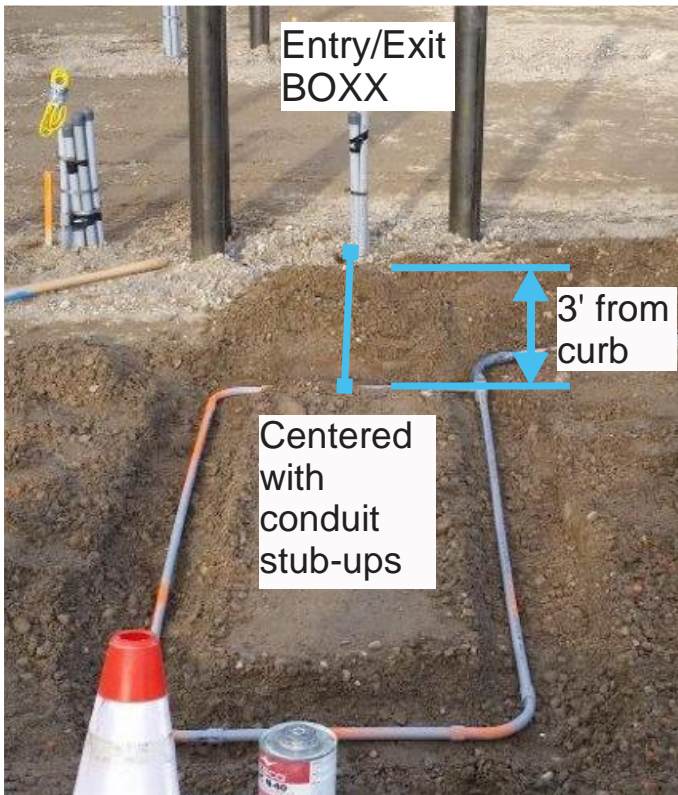
All loops should be approximately 3' from the curb.

Arming loops should be centered with the machine that they are arming.

Reset loops should be placed so that the back edge lines up with the conduit stub-ups for the gate so that approximately 30% of the loop is before the gate arm, and 70% of the loop is past the gate arm.



Refer to the below pictures for loop placement. For **MOST** applications, the arming/activation loops for the Entry/Exit BOXXs will have **blue** leads; the safety/reset loops for the gate operators will have **red** leads. This will help differentiate which loop is which once they are buried.



Reclaimed Asphalt

There is a gray area between surfaced and unsurfaced laneways. Reclaimed asphalt, chip seal, or old “crumbling” asphalt may fall into either loop category depending on material continuity and fragmentation.



The asphalt as seen on the right is an ideal surface for saw-cut loops.

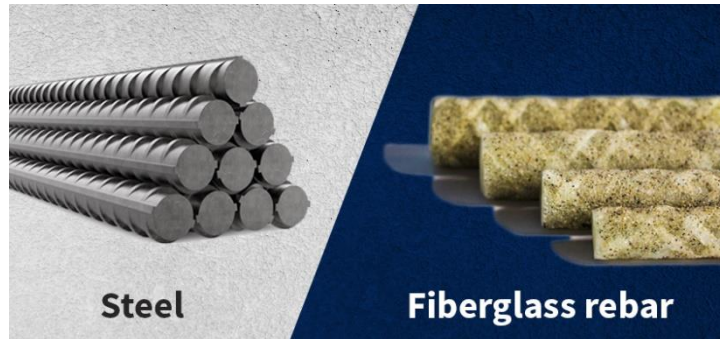
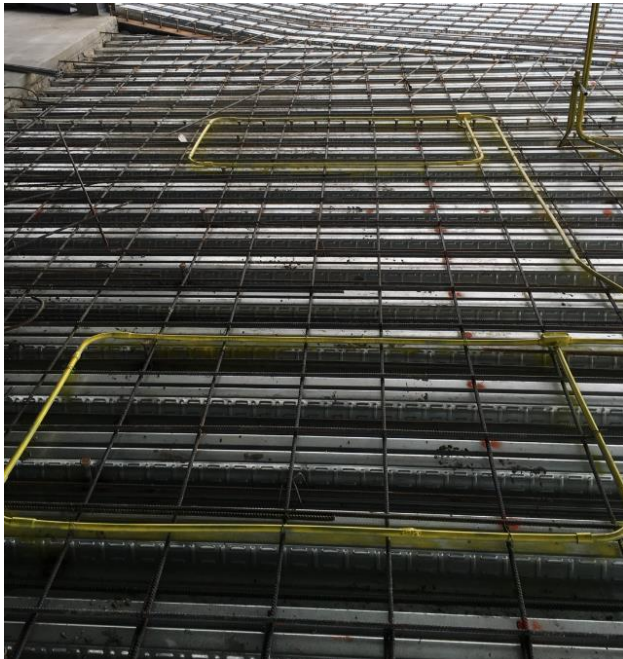
The chip seal as seen on the left is less ideal, however as long as there are no large sections missing, and the materials are not “loose”, saw-cut loops are still the best option.

The crumbling asphalt as seen below is the worst type of surface for loop installation. Saw-cut loops are not an option. The loop locations OR the entire laneway may be excavated for PVC loop installation.



Parking Garage Loops

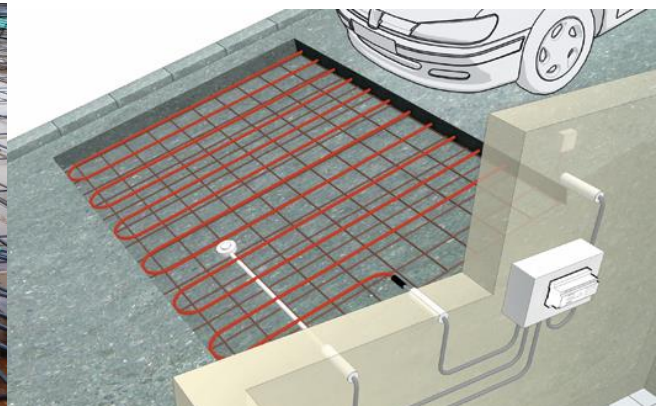
For new parking garage projects, PVC loops are by far the best option. They are the safest, cleanest, and easiest to install. The placement requirements are the same the above listed in the "PVC pre-formed loops" section, however instead of burying the loops in gravel, for this type of installation, loops will need to be secured to the framing/supports before pouring concrete. The loops should be elevated from the framing such that they will be 2-3" below the finished surface once the concrete is poured. An important consideration when laying out PVC loops in a parking garage is that since they work by sensing the metal content in vehicles above the surface, any stationary metal in the slab or structure will diminish their efficacy; consider utilizing fiberglass or composite rebar (FRP/GFRP) and drainage grates/covers within 5' of loops.



If the slab has already been poured and PVC loops are no longer an option, saw-cut loops may be used, though there are some considerations that must be made. The cut depth for saw-cut loops is 1-1/2" – 2". Post tension cables or glycol heating lines may interfere with the ability to cut the required depth for loops. The architect will need to confirm that cutting will be safe and not interfere with any slab-embedded items. Where as-built drawings are missing or incomplete, a slab x-ray or GPR scan may be required.



Post-tension cables



Glycol Heating System

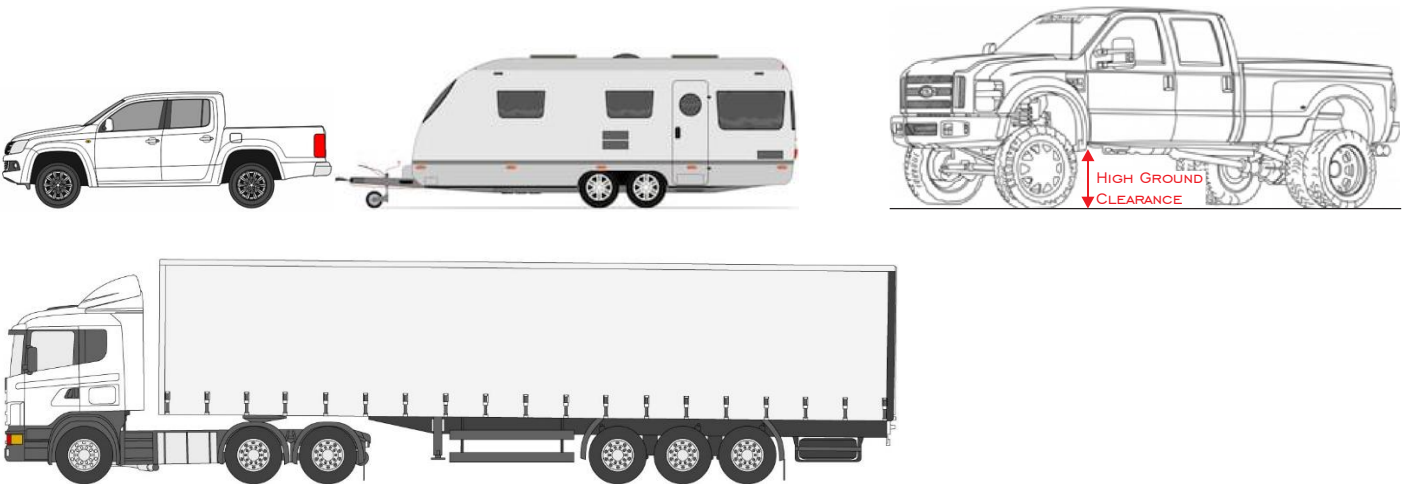
Standard vs. Oversized Loops

The TYPE of vehicular traffic that will utilize the laneways will determine the size of loops required.

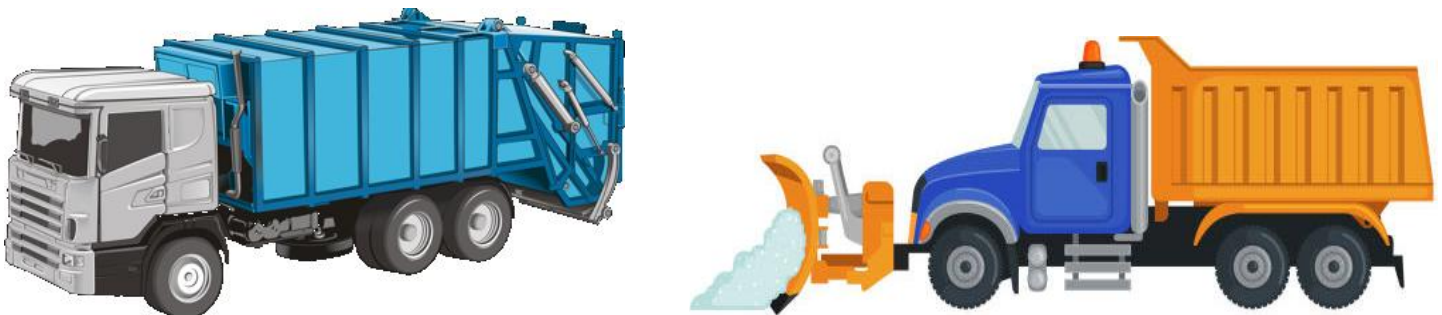
Standard loops are 2.5' x 5' (+/-) depending on lane width. Standard loops are appropriate for most non-commercial vehicular traffic (consumer cars/trucks/SUVs) and 2-axle commercial and courier vehicles. Standard loop vehicle types shown below:



Oversized loops are typically 5' x 10', but will commonly be tailored to the laneway in which they will be installed. Oversized loops are appropriate for Commercial vehicles such as transport trucks as well as ANY vehicle towing a trailer (boat trailer, RV, camper, moving trailer, etc.). In addition to commercial vehicles and consumer trailers, any laneway that will be patronized by high ground clearance vehicles (lifted trucks, off-road vehicles, etc.) should be outfitted with oversized loops. Oversized loop vehicle types shown below:



Special considerations: If the primary traffic demographic calls for standard loops, but on occasion an oversized vehicle may need to access the parking lot, standard loops may still be the best option with an "oversized vehicle procedure" put in place (for example, holding the gate open electronically while the garbage truck services the lot). Some examples of vehicles that may require special consideration shown below:



New construction on an existing surfaced lot

Excavation

Draw/mark Island dimensions – Make sure you take into account fire lane regulations.



Remove pavement.



Excavate at least 12". Take frost line into consideration. For northern climate installations, your footing may need to be deeper than 12".



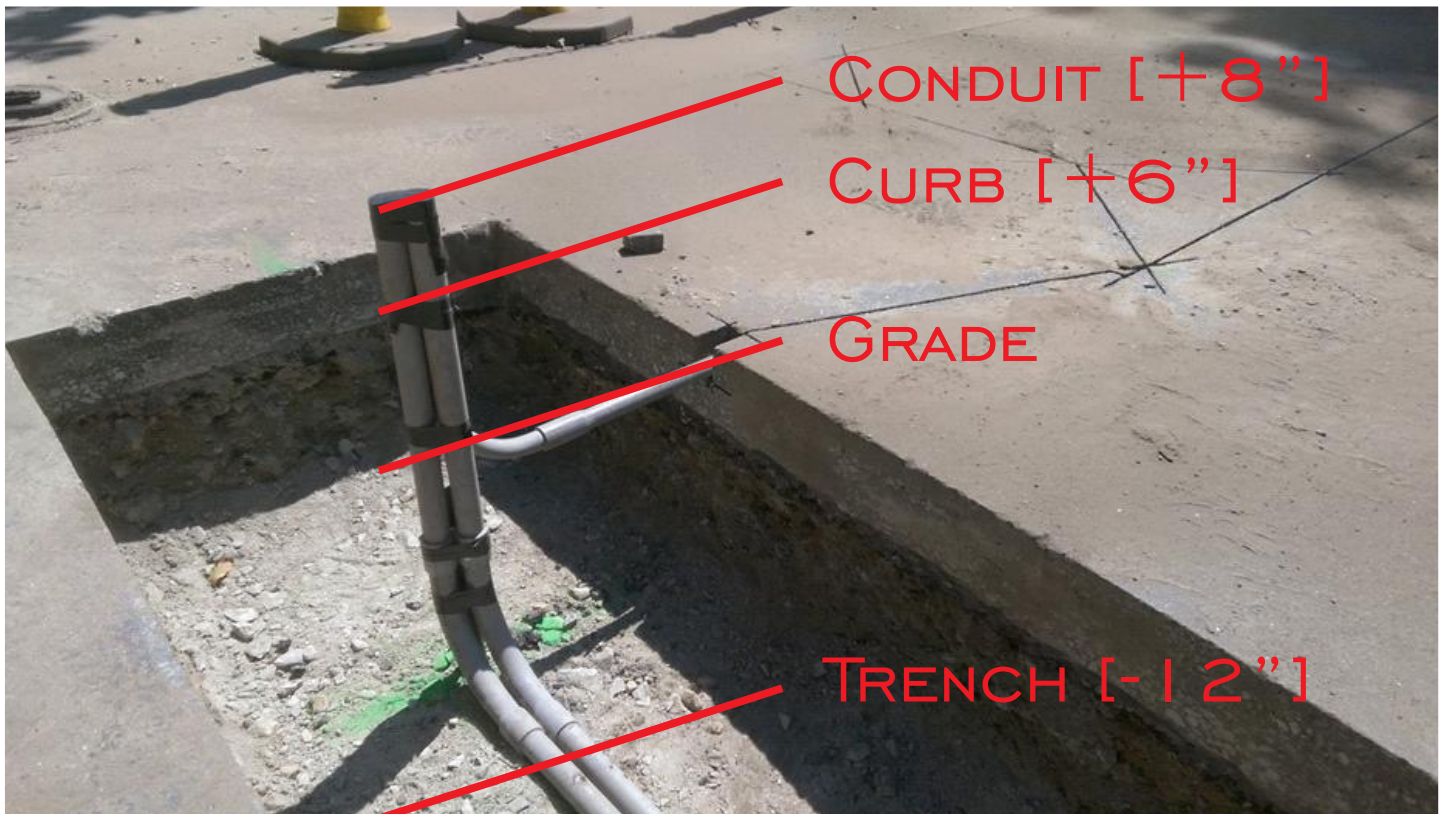
Conduit

Layout Conduit as per the drawings provided. Conduits must be grouped tightly together. Use spikes/rebar to keep conduits in place.

Ensure conduit clusters stub-up in the correct locations as per the drawings provided.



Saw cut, and seal loops – refer to drawing for number of loops and loop location. NOTE: If BOXX will be installing the loops, just leave the loop lead conduit accessible.



Framing

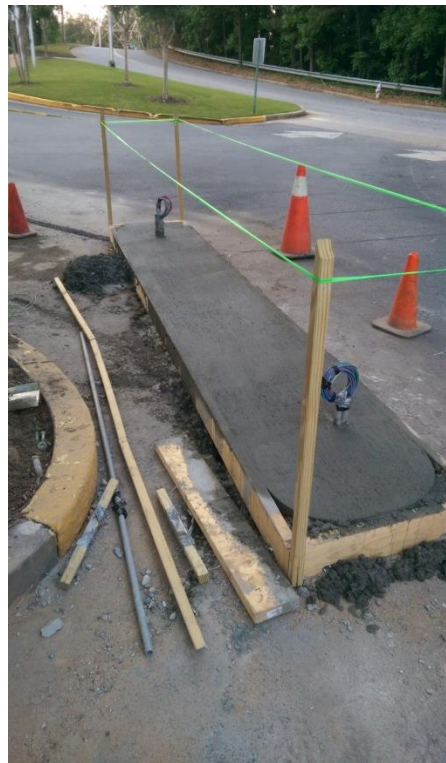
Frame Island – 2x6 Lumber works well for this. Secure to the roadway.



Round corners with sheet metal or Mason-board.

Concrete

Pour concrete; ensure that it is level.
Once concrete is dry, pull cables.
Power wires should extend 3' above the surface.
Data cables should extend 6' above the surface.



Mounting Equipment

Remove form and mount equipment. In most cases, BOXX will be responsible for mounting/installing the machines.



If you are mounting your own equipment, the most effective method is by using wedge anchors. Refer to bolt patterns diagram (page 4) for spacing. Different machines require different sizes of anchors. Below are the basic guidelines:

- Entry BOXX - 1/2" x 5-1/2" wedge anchor
- Exit BOXX - 1/2" x 5-1/2" wedge anchor
- Mini Pay - 1/2" x 5-1/2" wedge anchor
- Flat-Rate BOXX - 1/2" x 5-1/2" wedge anchor
- Smart Parking Meter – 1/2" x 5-1/2" wedge anchor

SIMPSON Strong-Tie STB2-505124SS



- Access Control Pedestal - 1/2" x 4-1/4" wedge anchor
- Long-Range Reader Stand - 1/2" x 4-1/4" wedge anchor
- Bolt-Down Bollard (4" O.D.) – 1/2" x 4-1/4" wedge anchor

SIMPSON Strong-Tie STB2-504144SS



- Barrier Gate – 5/8" x 6" wedge anchor

SIMPSON Strong-Tie STB2-626004SS



OR

- 3/4" x 6-1/4" sleeve anchor

SIMPSON Strong-Tie SL75614H



New construction on an unsurfaced/gravel lot

Excavation/Conduit/Framing

Dig a trench large enough (or larger) for the form. Construct the form and set it in the trench. The footing must be at least 18" deep. When construction is complete, the curb should be 6" above the roadway. If you are going to be paving, keep this in mind to account for the thickness of the asphalt.



Measure to ensure the conduits stub up in the appropriate locations according to the drawings provided. Keep conduit clusters tight.



Concrete

Pour concrete. After it has set, remove forms and grade laneway. It is important that the island is level, even if the laneway is sloped. Pull cables. Power wires must extend 3' above the surface. Data cables must extend 6' above the surface.



Mounting Equipment

Refer to anchoring specs (page 10).



Bollards

The best way to protect your parking equipment is with steel bollards. Specific measurements for bollard locations are provided and must be followed to ensure proper protection of the equipment and to avoid mounting conflicts. There are a few different types of bollards which are shown below:

Concrete-Filled Steel Pipe

This method is only possible before pouring concrete. We recommend SCH40 4"O.D. stainless steel pipe. For added security, you can upgrade to SCH80 or 6"O.D. pipe. If you cannot source stainless, you can use regular steel pipe, but it may rust if it is exposed. It is recommended to paint all bollards for visibility, especially non stainless bollards to prevent against rust. BOXX recommends 'traffic yellow' paint, however there is no regulation, so you can be creative and match the property décor/color scheme if you wish.

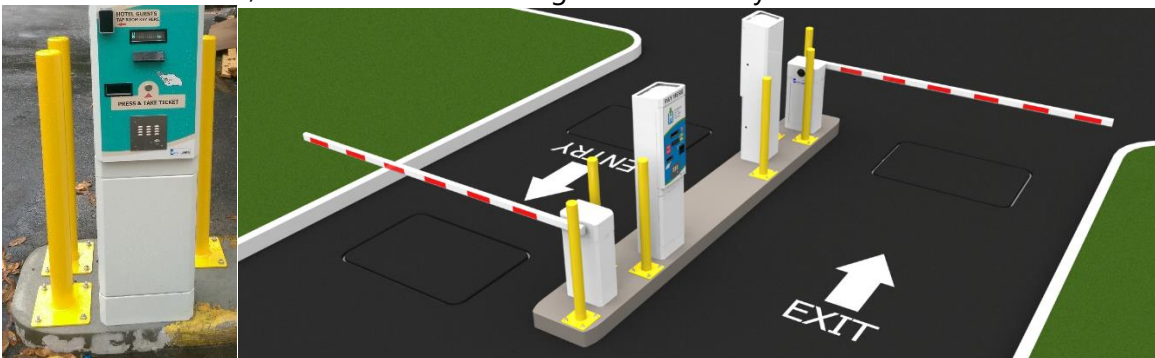
To install, drive the steel pipes into the dirt/gravel in the locations as indicated by the laneway drawings. Ensure they are plumb. Typical height for bollards is 4-5' above the finished surface of the concrete island. It is common to drive the pipes into the ground, leaving them higher than the finished height, and then cutting them down to uniform size after concrete is poured. After the pipes have been cut to finished height, fill them with concrete and paint them.



Manufactured Bolt-Down Bollards

If the concrete has already been poured, or you do not want to take on the project of installing concrete-filled steel pipe bollards, you may want to install manufactured bolt-down bollards (These can be purchased from BOXX in standard yellow or black). If you are installing these yourself, refer to the laneway drawings provided for placement. It is very important that the bollards are mounted in the correct positions to maximize their effectiveness and ensure there are no spatial conflicts.

To install, place the bollards in the correct locations and mark the 4 mounting holes. For standard 4"O.D. steel bolt-down bollards, furnish with 4-1/2" wedge anchors. Only 1" of the anchor should be above the surface.

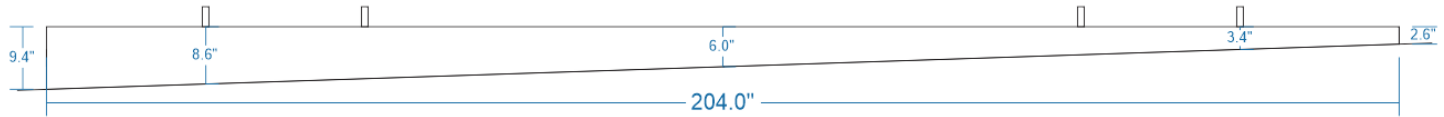


Sloped Laneways

Depending on the severity of the slope in the laneway, there are two main ways of leveling the concrete pads to ensure the machines have a level base to mount to without being shimmed.

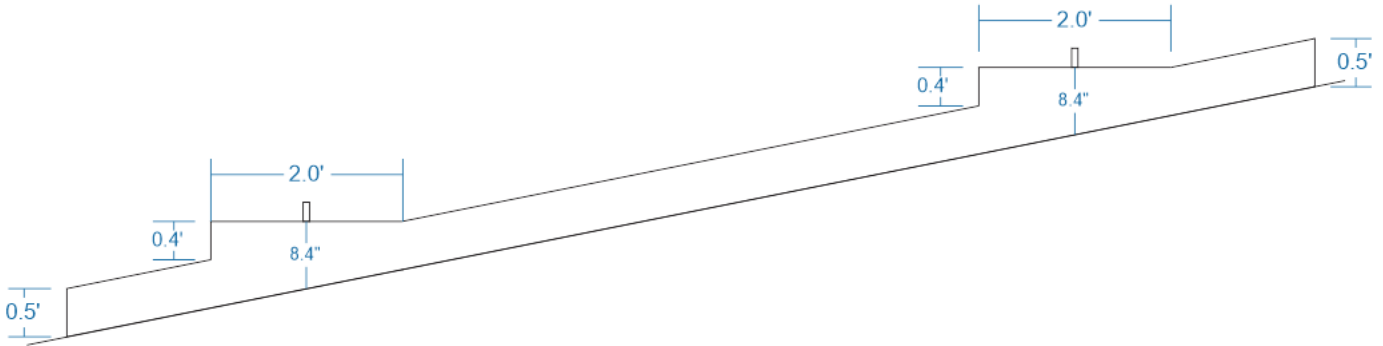
Gradient Average Leveling

For minor slopes (<6" over 10'), the easiest way to frame your island is to calculate the average of the gradient based on a 6" curb and disperse the difference over the entire length of the island. For example, if the laneway has a 3.33% grade and the concrete pad needs to be 17' long, the average of the gradient is 5.66". Therefore, when framing the island, one end of the curb will be finished to approx. 2.5" and the other end will be finished to approx. 9.5", and the center will be 6". Example shown below:



“Stepped” Leveling

For more significant slopes (>6” over 10’), “stepped” leveling is the most effective solution. In this scenario, the overall island will match the same slope as the laneway, but every location where a machine will be mounted will be leveled so that the end product will resemble a stretched out staircase. The area to be leveled where each machine will be located must be at least 2’ wide, centered on the conduit stub-ups. The drawing below shows a 13’ island on 20% grade and 2 leveled machine mounting locations:

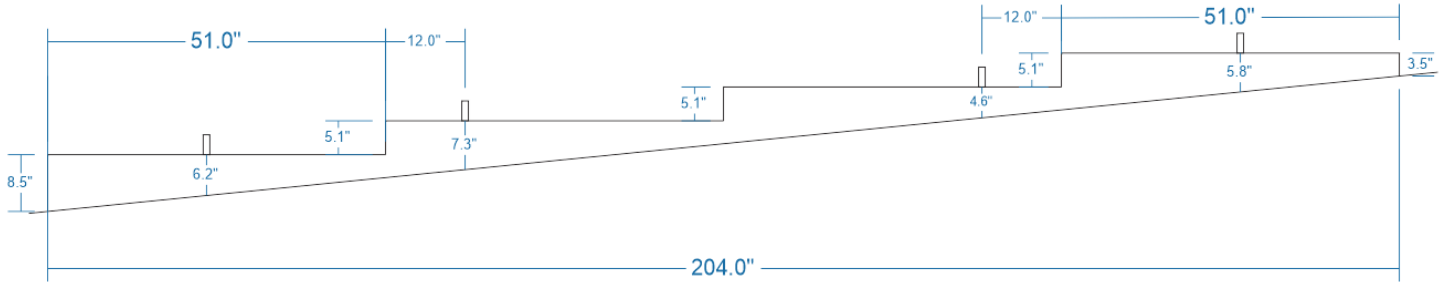


Example:



Stepped Gradient Average Levelling

In some cases, the best option may be to implement a hybrid solution of the above two methods. There is no hard and fast rule as to when this method should be implemented, and it will depend on many factors such as the overall slope of the laneway, number of machines to be mounted on the island, and preferred aesthetic. This method will have the same stretched out staircase appearance but without the sloped sections in between. The drawing below shows a 17' island on 10% grade and space for 4 machines:



Example:



Note: The spacing between each "step" can be adjusted to ensure that there is at least 2' (wide) of level mounting surface for each machine location, centered on the conduit stub-ups.

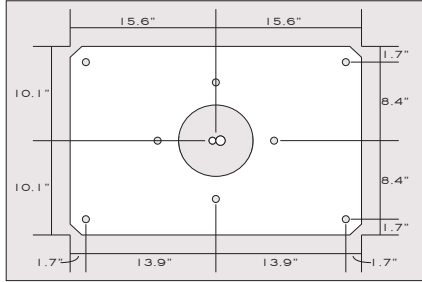
Pay BOXXs

Types and Size

Parking BOXX offers two main form factors of non-vehicular parking payment kiosks.



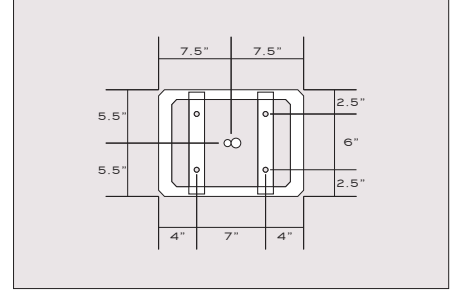
Big PAY



Mounting footprint



Mini PAY



Mounting footprint

The Big PAY is our full-featured model with cash accepting/dispensing options available. The Mini PAY is our streamlined credit/debit only model.

Installation

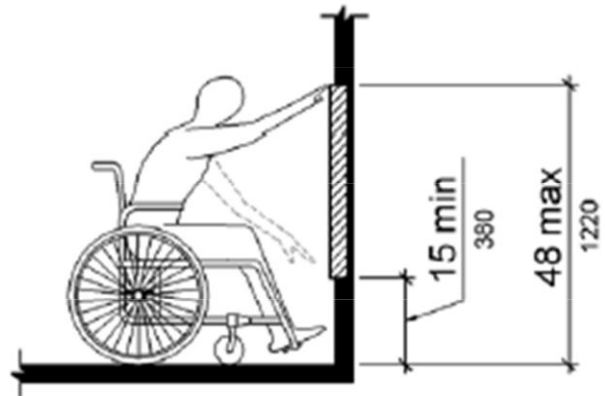
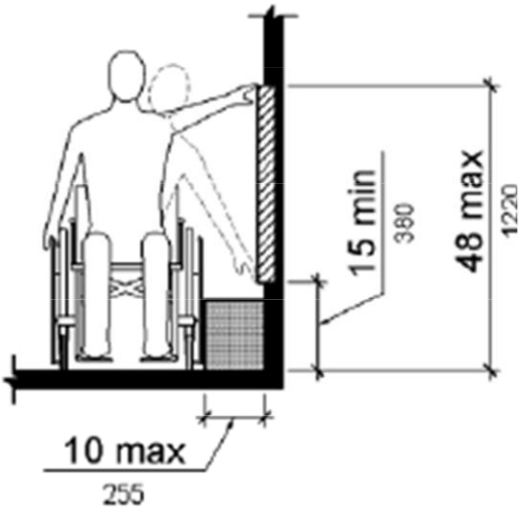
Wherever possible, it is ideal to stub the conduits up through the concrete where the Pay BOXX will be installed. For retrofit installations, external conduit may be required. Before the machine is installed, appropriate conduits for the environment should be installed and terminated to junction boxes within 2' of the proposed machine location and no more than 4' above the ground. There should be 1 box for power cables, and 1 box for data cables. BOXX recommends using a weatherproof box with 3/4" threaded knockout furnished with armored liquid-tite conduit whip for termination to Pay BOXX. All conduit terminations to Pay BOXXs must be on the back or sides of the unit within 8" of the base.



ADA Compliance

For parking system components that are not in the vehicle laneway, parking payment stations:

- a. Should be ground level to ensure that all station components are within the acceptable reach ranges.



- b. Should be positioned to allow for either forward or parallel approach to the machine.

